

SAM AND ALFREDA MALOOF FOUNDATION FOR ARTS AND CRAFTS ROOF REPLACEMENT

5131 Carnelian Street, Rancho Cucamonga, CA 91701
Construction Documents, November 10, 2023

WJE ENGINEERS ARCHITECTS MATERIALS SCIENTISTS

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GENERAL NOTES

- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS AND THE PROJECT MANUAL DATED DECEMBER 20, 2022 AND IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS AS PER THE CITY OF RANCHO CUCAMONGA.
- ALL EXISTING DIMENSIONS, LOCATIONS, AND CONDITIONS SHALL BE FIELD VERIFIED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY MEASUREMENTS AT THE JOB SITE AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND TO PERFORM THEIR WORK PROPERLY. SHOULD ANY DIMENSIONS BE AT VARIANCE WITH EXISTING CONDITIONS, OR SHOULD THERE BE A CONFLICT BETWEEN DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO STARTING THE WORK, AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS, OR OTHER CONDITIONS WHICH MAY AFFECT THE WORK IMMEDIATELY AND PRIOR TO BEGINNING REPAIRS IMPACTED BY THE NOTED CONDITIONS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL SECURE AND PAY ALL NECESSARY PERMITS, INCLUDING CITY OF RANCHO CUCAMONGA BUILDING AND SAFETY PERMITS, PRIOR TO STARTING THE WORK, INCLUDING ALL EXPEDITING COSTS.
- THE WORK OF THIS PROJECT INCLUDES REMOVAL OF EXISTING FIBROUS ROOF DECK PANELS WHICH ARE KNOWN ASBESTOS CONTAINING MATERIALS (ACMS). THE CONTRACTOR SHALL COMPLY WITH PROTOCOLS FOR SETTING UP OF CONTAINMENT, HANDLING, AIR PRESSURIZATION, CLEANING, AND TESTING DURING AND FOLLOWING COMPLETION OF THE WORK ESTABLISHED BY THE OWNERS CERTIFIED INDUSTRIAL HYGIENIST (C.I.H.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING FURNISHINGS, ETC. IN ALL ROOMS WHERE WORK WILL BE PERFORMED.
- THE CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE ADJACENT PROPERTIES AND OWNERS PROPERTY AS JOB CONDITIONS REQUIRE.
- CONSTRUCTION AND CONSTRUCTION RELATED ACTIVITIES SHALL BE THOROUGHLY COORDINATED WITH THE OWNER. UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE COURSE OF THE WORK, WHICH REQUIRE ADDITIONAL REPAIRS OR REQUIRE MODIFICATION OF CONTRACT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND THE OWNER. NO ADDITIONAL REPAIR WORK SHALL BE PERFORMED UNLESS BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND APPROVED IN ADVANCE BY THE ARCHITECT/ENGINEER AND THE OWNER.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE TAKEN IN THEIR ENTIRETY AND AS A WHOLE. IF A DISCREPANCY IS FOUND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE ARCHITECT/ENGINEER AND OWNER SHALL HAVE THE OPTION AS TO WHICH REQUIREMENT GOVERNS, CONSISTENT WITH THE INTENT OF THE DESIGN.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL METHODS AND MEANS OF CONSTRUCTION AND SITE SAFETY. THE CONTRACTOR SHALL MAKE ANY INSPECTIONS OR ANALYSIS NECESSARY TO VERIFY THAT EXISTING BUILDING ELEMENTS HAVE ADEQUATE LOAD CAPACITY TO SUPPORT ANY REQUIRED FORCES HE/SHE CHOOSES TO IMPOSE ON THEM. INSPECTION OPENINGS SHOULD NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY ENGINEER/ARCHITECT.
- THE CONTRACTOR SHALL MAKE ALL OPENINGS SEALED AND WATER TIGHT AT THE END OF EACH WORKDAY AND DURING INCLEMENT WEATHER.
- PROVIDE TWENTY (20) DAYS ADVANCED WRITTEN NOTICE TO THE OWNER ANY TIME THAT INTERIOR ACCESS IS REQUIRED.
- PROVIDE PEDESTRIAN PROTECTION AT ALL WORK AREAS AND COMPLY WITH ALL LOCAL LAWS, CODES, AND RULES.
- PROVIDE NOISE CONTROL AS SPECIFIED AND IN ACCORDANCE WITH CITY AND ALL OTHER APPLICABLE REGULATORY CODES.

MALOOF USER SAFETY NOTES: INSTITUTIONAL RENOVATION

- GENERAL: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE LOCAL RANCHO CUCAMONGA BUILDING CODE, THE CALIFORNIA HISTORICAL BUILDING CODE, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR OCCUPANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY:
 - ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER, OR THE GENERAL CONTRACTOR.
 - ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
 - ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS' CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
 - ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
 - CONTRACTOR, AT ALL TIMES, TO ENSURE THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDINGS, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
- DUST CONTROL:
 - DEBRIS, DIRT AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
 - DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS:
 - CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8 AM TO 6 PM, MONDAY TO FRIDAY, EXCEPT LEGAL HOLIDAYS.
 - CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS.
- CONSTRUCTION OPERATIONS SHALL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO BUILDING OCCUPANTS.
- CONSTRUCTION WORK WILL BE CONFINED TO THE AREAS DESIGNATED ON THE DRAWINGS, AND WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER AREAS WITHIN THE COMPLEX NOT INDICATED FOR WORK.
- THE SCOPE OF WORK IS DEFINED BY THE DRAWINGS AND SPECIFICATIONS AND INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO ACCOMPLISH THE WORK.

HISTORIC PRESERVATION

THE MALOOF COMPOUND IS AN ARCHITECTURALLY AND HISTORICALLY SIGNIFICANT STRUCTURE. IT IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES (NOVEMBER 9, 2010; REGISTER NUMBER ID: 03000471). ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR TREATMENT OF HISTORIC PROPERTIES. EXISTING MATERIALS SHOULD BE RETAINED WHENEVER POSSIBLE. ROOFING MATERIALS WILL BE REPLACED IN ACCORDANCE WITH SECRETARY OF INTERIORS STANDARDS. WOOD SIDING, ROOF DECK FRAMING AND OTHER ADJACENT MATERIALS SHOULD ONLY BE REPLACED WHEN THE EXISTING HISTORIC ELEMENTS ARE SO DETERIORATED AS TO PROHIBIT THEIR USEFUL FUNCTION, AND WITH PRIOR APPROVAL BY THE ARCHITECT/ENGINEER AND OWNER EXCEPT AS OTHERWISE INDICATED IN THESE DOCUMENTS.

REPAIR AND RESTORATION APPROACHES

IN GENERAL, THE SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- BUILT-UP ROOF REPLACEMENT:** REMOVE THE EXISTING BUILT-UP ROOF SYSTEM DOWN TO THE EXISTING WOOD PLANK DECK OR STRUCTURAL ROOF PANEL DECK. INSTALL NEW ROOF ASSEMBLY CONSISTING OF: RED ROSIN PAPER, MECHANICALLY FASTENED BASE SHEET, HOT-APPLIED 4-PLY BUILT-UP ROOFING SYSTEM, AND FLOOD COAT OF ASPHALT WITH PEA GRAVEL SURFACING.
- METAL PANEL ROOF REPLACEMENT:** REMOVE THE EXISTING METAL PANEL ROOF SYSTEM DOWN TO THE EXISTING WOOD DECK. INSTALL NEW ROOF ASSEMBLY CONSISTING OF: VAPOR RETARDER/TEMPORARY ROOF MEMBRANE, POLYISOCYANURATE INSULATION, COVER BOARD, AND ADHERED PVC ROOF MEMBRANE.
- STRUCTURAL ROOF PANEL DECK REPLACEMENT:** REPLACE THE EXISTING 2-INCH THICK STRUCTURAL ROOF DECK PANELS AT THE MAIN HOUSE (WEST) ROOF AREA.
- ISOLATED WOOD ROOF DECK REPLACEMENT:** REPLACE ISOLATED INDIVIDUAL DAMAGED WOOD PLANKS OR PLYWOOD/OSB IN KIND.
- ISOLATED FASCIA BOARD REPLACEMENT:** REPLACE FASCIA BOARDS IN KIND WHERE DESIGNATED IN THE DRAWINGS.
- RAFTER TAIL REPAIR:** REPAIR DAMAGED SECTION OF EXISTING RAFTER TAILS AS INDICATED IN THE DRAWINGS.
- MISCELLANEOUS CARPENTRY WORK:** MODIFY EXISTING WOOD TRIM/SIDING AS NECESSARY TO INSTALL NEW ROOF BASE FLASHINGS AND COUNTERFLASHINGS.
- METAL WORK:** INSTALL NEW COUNTERFLASHINGS, EDGE FLASHINGS, GUTTERS, DOWNSPOUTS, AND ANY OTHER MISCELLANEOUS SHEET METAL AND/OR FLASHING WORK AS INDICATED IN THE DRAWINGS.
- SKYLIGHT REPLACEMENT:** REPLACE THE EXISTING SKYLIGHTS IN KIND, ACRYLIC DOMED, (EIGHT TOTAL).
- CHIMNEY COATING:** AT THE CHIMNEY LOCATED AT THE MAIN HOUSE (WEST) ROOF, INSTALL ARCHITECTURAL GRADE COATING AT THE CHIMNEY FACES AND PEDESTRIAN GRADE TRAFFIC COATING AT THE TOP SURFACE OF THE CHIMNEY.
- SOUTH BALCONY FRAMING REPAIRS:** REPAIR OR PERFORM ISOLATED REPLACEMENT OF WOOD FRAMING MEMBERS AT THE SOUTH BALCONY. PERFORM STABILIZATION REPAIRS AND/OR TEMPORARILY SHORE BALCONY AS NEEDED DURING THE WORK. REPLACE PEDESTRIAN GRADE TRAFFIC MEMBRANE. REMOVE AND REINSTALL PERIMETER FLASHINGS AND COUNTERFLASHINGS AS NEEDED TO INSTALL NEW MEMBRANE.

ALTERNATE NO. 1 - ADDITIONAL METAL ROOF REPLACEMENT: PERFORM SAME SCOPE OF WORK AS BASE BID NO. 2 AT FIVE ADDITIONAL ROOF AREAS AT THE MAIN HOUSE WHERE DESIGNATED IN THE DRAWINGS.

ALTERNATE NO. 2 - ALTERNATE FLAT ROOF REPLACEMENT MATERIAL: PERFORM SAME SCOPE OF WORK AS BASE BID NO. 1, EXCEPT NEW ROOF ASSEMBLY IS TO CONSIST OF: TWO-PLY GRANULAR SURFACED MODIFIED BITUMEN ROOF MEMBRANE IN LIEU OF 4-PLY BUILT-UP ROOFING SYSTEM.

ALTERNATE NO. 3 - EXPOSED FASTENER REPLACEMENT: REPLACE SCREW FASTENERS AND NEOPRENE WASHERS AT METAL PANEL ROOFS TO REMAIN (LABELED AS N1.C.) AT THE MAIN HOUSE AND VISITOR CENTER.

ALTERNATE NO. 4 - SHEET METAL FLASHING ALTERNATE MATERIALS: PRICING OPTION TO PROVIDE BONDERIZED SHEET METAL FLASHINGS IN LIEU OF ALUMINUM THROUGHOUT.

BUILDING CODE

2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)

THE MALOOF COMPOUND, LOCATED AT 5131 CARNELIAN STREET IN RANCHO CUCAMONGA, CALIFORNIA, IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES (NOVEMBER 9, 2010; REGISTER NUMBER ID: 03000471).

THE MALOOF COMPOUND IS ALSO A CITY OF RANCHO CUCAMONGA DESIGNATED LOCAL LANDMARKS (DLLS), DESIGNATED MAY 15, 1996. DUE TO THE DLL DESIGNATION, THE COMPOUND IS SUBJECT TO ADMINISTRATIVE REVIEW FOR CERTIFICATE OF APPROPRIATENESS UNDER 17.18.040.

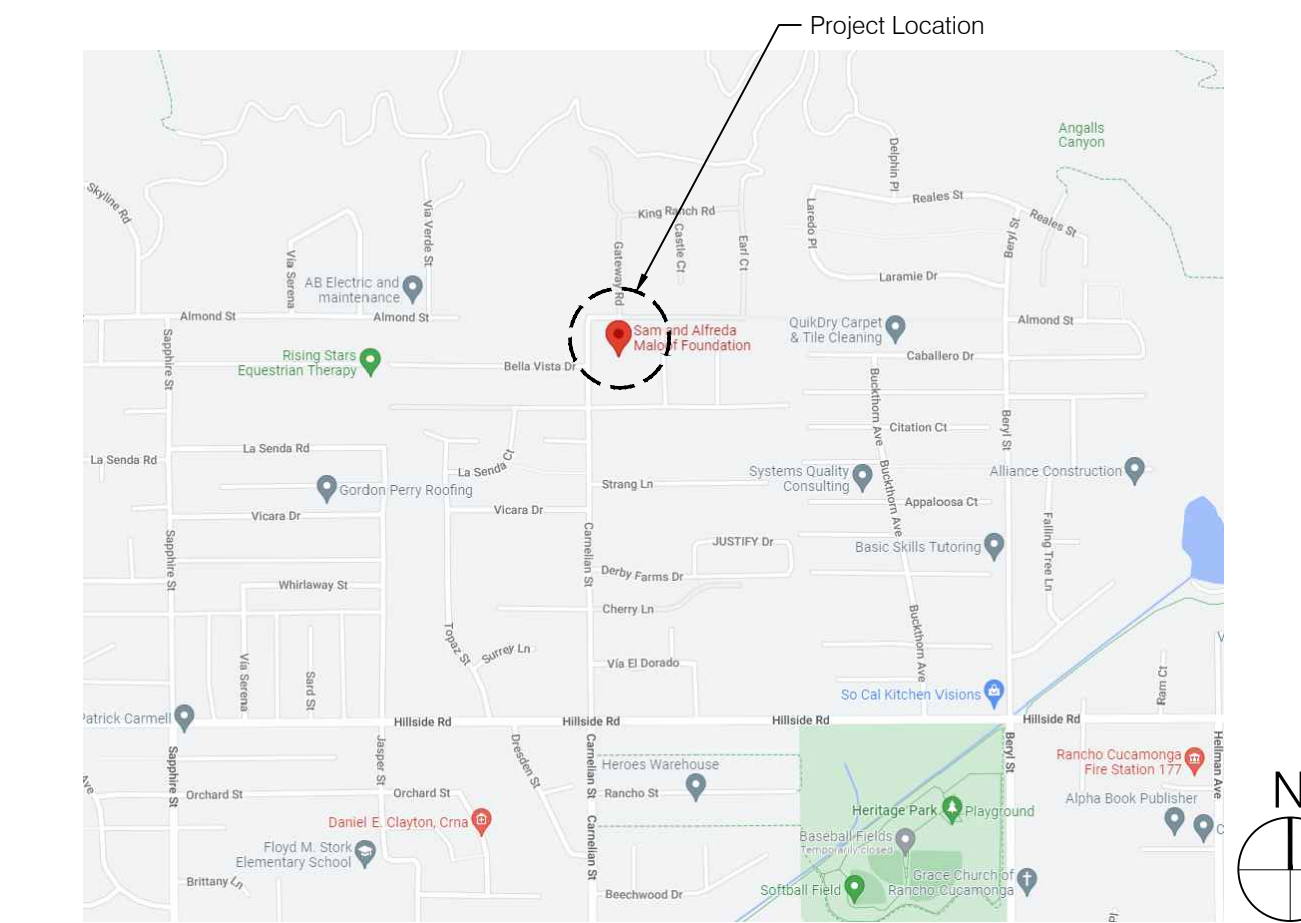
***3. PLANNING DIRECTOR REVIEW. NOTWITHSTANDING THE PREVIOUS PARAGRAPH, THE PLANNING DIRECTOR SHALL REVIEW, AND AFTER CONDUCTING A PUBLIC HEARING, SHALL DENY, APPROVE, OR CONDITIONALLY APPROVE ANY APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR ANY OF THE FOLLOWING TYPES OF ALTERATIONS:**
a. REPAIR OR REPLACEMENT OF DETERIORATED MATERIALS WITH APPLICATIONS OR MATERIALS OF THE SAME KIND, TYPE, AND TEXTURE ALREADY IN USE FOR ROOFS, WINDOWS, SIDING MATERIAL, CHIMNEYS AND FIREPLACES, ACCESSORY STRUCTURES, OR FENCING.*

THE MALOOF COMPOUND IS A QUALIFIED HISTORICAL BUILDING OR PROPERTY PER THE DEFINITION IN CHAPTER 8-2 OF THE CALIFORNIA HISTORICAL BUILDING CODE (CHBC), AND THEREFORE THE CHBC IS THE APPLICABLE CODE.

DRAWING LIST

- | | |
|-------|--|
| A-0.0 | TITLE SHEET |
| A-1.0 | SITE PLAN |
| A-1.1 | MAIN HOUSE (EAST) ROOF PLAN |
| A-1.2 | MAIN HOUSE (CONFERENCE ROOM) ROOF PLAN |
| A-1.3 | WORKSHOP 1 ROOF PLAN |
| A-1.4 | WORKSHOP 2 ROOF PLAN |
| A-1.5 | GUEST HOUSE (VISITOR CENTER) ROOF PLAN |
| A-2.0 | BUILT-UP ROOFING DETAILS |
| A-2.1 | BUILT-UP ROOFING DETAILS |
| A-2.2 | PVC ROOFING DETAILS |
| A-2.3 | TRAFFIC COATING DETAILS |
| S-1.0 | SOUTH BALCONY FRAMING PLANS |
| S-2.0 | SOUTH BALCONY ELEVATION |
| S-3.0 | STRUCTURAL DETAILS |

LOCATION MAP



Consultants

Project

Roof Replacement

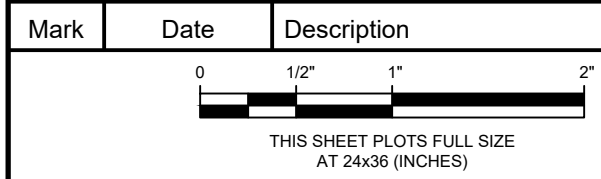
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Client

Sam and Alfreda Maloof Foundation for Arts and Crafts

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11/10/23	Issued for Bid
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Drawn	TC
Checked	MSM / JZ / JAC
Scale	As Shown

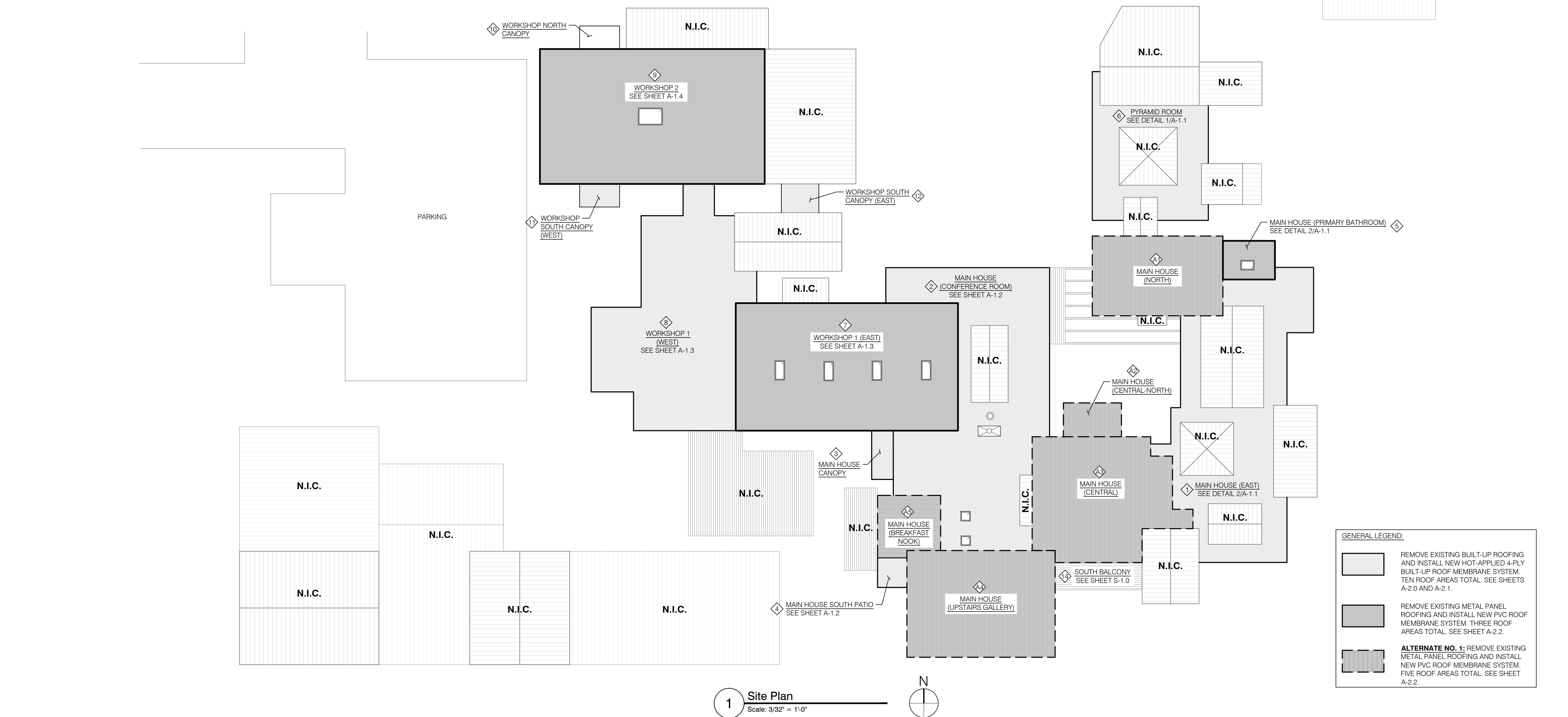
Title Sheet

Sheet Title

Sheet No. **A-0.0**

NO.	ROOF SECTION	APPROX. ROOF AREA	EXISTING ROOF SYSTEM	REPLACEMENT ROOF SYSTEM	ASSUMED ROOF DECK	ALLOWANCE			
						6 FT./8 FT. WOOD PLANK REPLACEMENT ALLOWANCE	10 FT./12 FT. WOOD PLANK REPLACEMENT ALLOWANCE	4 FT. x 8 FT. PLYWOOD REPLACEMENT ALLOWANCE	FASCIA REPLACEMENT ALLOWANCE (LF)
1	MAIN HOUSE (EAST)	1,100 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	9	12	-	4
2	MAIN HOUSE (CONFERENCE ROOM)	1,500 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	STRUCTURAL ROOF DECK PANEL	-	-	-	44
3	MAIN HOUSE (WEST) CANOPY	60 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	-	3	-	-
4	MAIN HOUSE SOUTH PATIO	100 SF	MODIFIED BITUMEN	BUILT-UP ROOFING	WOOD PLANK	4	-	-	-
5	MAIN HOUSE (PRIMARY BATHROOM)	150 SF	METAL PANEL	PVC	WOOD PLANK	-	-	-	9
6	PYRAMID ROOM	650 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	135	5	-	28
7	WORKSHOP 1 (EAST)	1,200 SF	METAL PANEL	PVC	PLYWOOD	-	-	5	48
8	WORKSHOP 1 (WEST)	1,200 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	53	72	-	6
9	WORKSHOP 2	1,200 SF	METAL PANEL	PVC	WOOD PLANK	-	-	-	-
10	WORKSHOP NORTH CANOPY	50 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	6	-	-	4
11	WORKSHOP SOUTH CANOPY (WEST)	50 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	12	-	-	4
12	WORKSHOP SOUTH CANOPY (EAST)	80 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	5	-	-	6
13	GUEST HOUSE (VISITOR CENTER)	1,300 SF	BUILT-UP ROOFING	BUILT-UP ROOFING	WOOD PLANK	32	30	-	-
14	SOUTH BALCONY	260 SF	TRAFFIC COATING	TRAFFIC COATING	WOOD PLANK	10	-	-	-
ALLOWANCE SUBTOTAL						266	122	5	153
ALTERNATE NO. 1									
15	MAIN HOUSE (NORTH)	450 SF	METAL PANEL	PVC	WOOD PLANK	-	-	-	40
16	MAIN HOUSE (CENTRAL-NORTH)	110 SF	METAL PANEL	PVC	WOOD PLANK	-	1	-	-
17	MAIN HOUSE (CENTRAL)	720 SF	METAL PANEL	PVC	WOOD PLANK	-	-	-	36
18	MAIN HOUSE (UPSTAIRS GALLERY)	700 SF	METAL PANEL	PVC	PLYWOOD	-	-	20	50
19	MAIN HOUSE (BREAKFAST NOOK)	180 SF	METAL PANEL	PVC	WOOD PLANK	-	-	-	21
ALLOWANCE SUBTOTAL						-	1	20	147

BASE BID	ALLOWANCE					
	6 FT./8 FT. WOOD PLANK REPLACEMENT ALLOWANCE	10 FT./12 FT. WOOD PLANK REPLACEMENT ALLOWANCE	4 FT. x 8 FT. PLYWOOD REPLACEMENT ALLOWANCE	FASCIA REPLACEMENT ALLOWANCE (LF)	RAFTER REPAIR ALLOWANCE (LF)	
ALLOWANCE SUBTOTAL	266	122	5	153	84	
ADDL. ALLOWANCE CONTINGENCY	-	50	5	-	16	
ALLOWANCE TOTAL	266	172	10	153	100	
ALTERNATE NO. 1						
ALLOWANCE SUBTOTAL	-	1	20	147	20	
ADDL. ALLOWANCE CONTINGENCY	-	10	10	-	10	
ALLOWANCE TOTAL	-	11	30	147	30	



1 Site Plan
 Scale: 3/32" = 1'-0"

GENERAL LEGEND:

- REMOVE EXISTING BUILT-UP ROOFING AND INSTALL NEW HOT-APPLIED 4-PLY BUILT-UP ROOF MEMBRANE SYSTEM. TEN ROOF AREAS TOTAL. SEE SHEETS A-2.0 AND A-2.1.
- REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. THREE ROOF AREAS TOTAL. SEE SHEET A-2.2.
- ALTERNATE NO. 1: REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. FIVE ROOF AREAS TOTAL. SEE SHEET A-2.2.

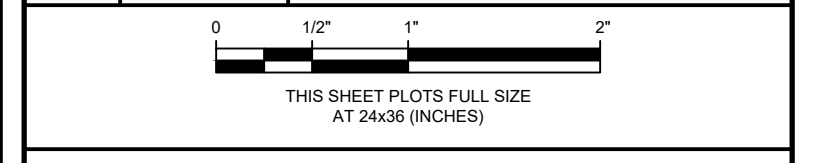
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Consultants
 Project

Roof Replacement
 Sam and Alfreda Maloof
 Foundation for Arts and Crafts
 5131 Carnelian Street
 Rancho Cucamonga, CA 91701

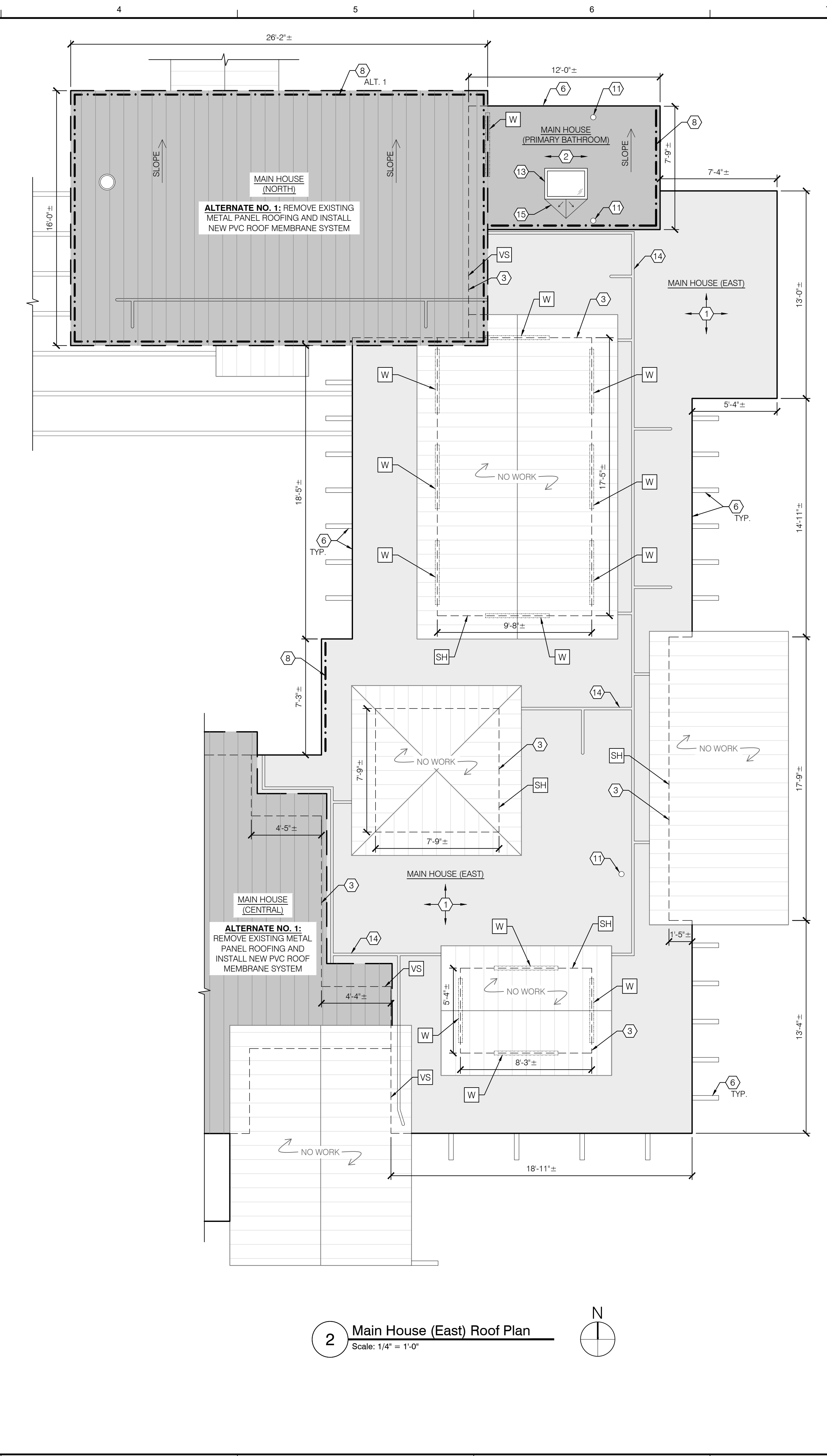
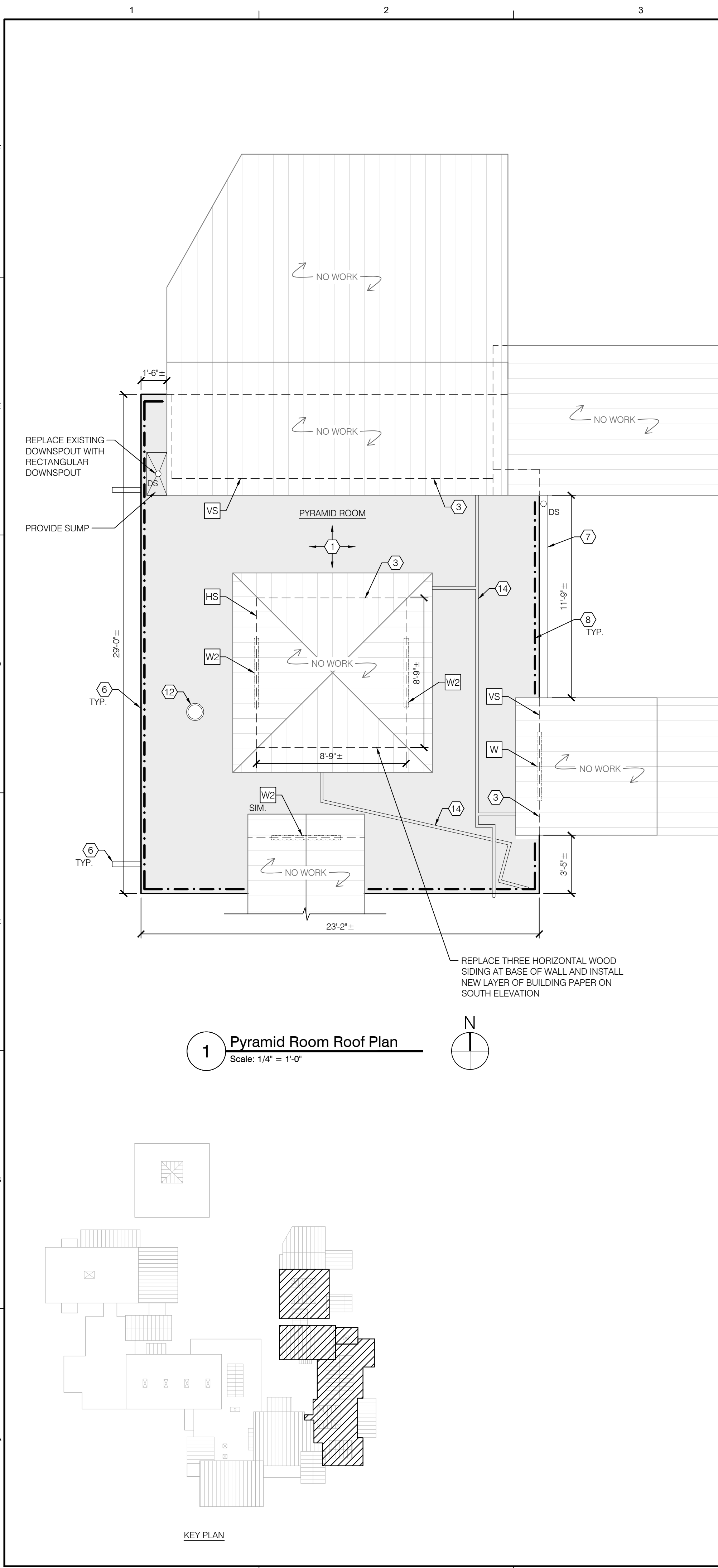
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 Rancho Cucamonga, CA 91701

Mark	Date	Description
	11/10/23	Issued for Bid
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 Checked MSM / JZ / JAC
 Scale As Shown

Site Plan
 Sheet Title
 Sheet No. **A-1.0**



MARK	REPAIR NOTE LEGEND
①	BUILT-UP ROOFING: REMOVE EXISTING BUILT-UP ROOFING DOWN TO EXISTING WOOD DECK OR STRUCTURAL ROOF PANEL DECK AND INSTALL NEW BUILT-UP ROOF SYSTEM CONSISTING OF: RED ROSIN PAPER, BASE SHEET, 4-PLY BUILT-UP ROOFING SYSTEM, AND FLOOD COAT OF ASPHALT WITH PEA GRAVEL SURFACING. SEE DETAILS 1 THROUGH 4/A-2.0. ALTERNATE NO. 2: INSTALL NEW TWO-PLY GRANULAR SURFACED MODIFIED BITUMEN ROOF MEMBRANE IN LIEU OF BUILT-UP ROOFING. SEE DETAIL 5/A-2.0.
②	PVC ROOFING: REMOVE EXISTING METAL PANEL ROOFING DOWN TO EXISTING WOOD DECK AND INSTALL NEW PVC ROOF SYSTEM CONSISTING OF: VAPOR RETARDER/TEMPORARY ROOF MEMBRANE, RIGID INSULATION, COVER BOARD, AND ADHERED PVC ROOF MEMBRANE. SEE DETAILS 1 & 2/A-2.2. ALTERNATE NO. 1: AT DESIGNATED ROOF AREAS, INSTALL PVC ROOFING AS NOTED ABOVE.
③	WALL BASE AT WOOD CLADDING: REMOVE BOTTOM PORTION OF EXISTING WOOD CLADDING AT RISING WALLS AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING. SEE DETAILS 6 & 7/A-2.0 FOR BUILT-UP ROOF AND DETAIL 3/A-2.2 FOR PVC ROOF.
HS	= HORIZONTAL WOOD SIDING
VS	= VERTICAL WOOD SIDING
SH	= WOOD SHAKES
④	WALL BASE AT CLERESTORY WINDOWS: TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL FLASHINGS AT WINDOWS WITH LOW CLEARANCE OR ZERO CLEARANCE AS DESCRIBED BELOW.
W	= WINDOW WITH LOW CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING SIM. TO DETAIL 8/A-2.0.
W2	= WINDOW WITH ZERO CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL REINFORCED FLUID-APPLIED FLASHING MEMBRANE. SEE DETAIL 9/A-2.0.
⑤	CHIMNEY: TERMINATE ROOFING AND INSTALL NEW COUNTERFLASHING. INSTALL ARCHITECTURAL COATING AND TRAFFIC COATING PER DETAIL 1/A-2.1.
⑥	ROOF EDGE: INSTALL NEW EDGE METAL FLASHING. SEE DETAIL 10/A-2.0 FOR BUILT-UP ROOF AND DETAIL 5/A-2.2 FOR PVC ROOF. AT ALL PROTRUDING RAFTER TAILS, INSTALL CAP FLASHING PER DETAIL 11/A-2.0. DAMAGED RAFTER TAILS TO BE REPAIRED PER DETAIL 1/S-3.0. DEDUCT FROM CONTRACT ALLOWANCES.
⑦	GUTTER: INSTALL NEW GUTTER AND DOWNSPOUT. DOWNSPOUT TO DRAIN TO GRADE. MATCH EXISTING GUTTER AND DOWNSPOUT SIZE AND LOCATION UNLESS NOTED OTHERWISE. SEE DETAIL 12/A-2.0 FOR BUILT-UP ROOF AND DETAIL 6/A-2.2 FOR PVC ROOF.
DS	
⑧	FASCIA BOARD: REPLACE DAMAGED WOOD FASCIA BOARDS ON INDIVIDUAL BASIS. ASSUME 2x10 REPLACEMENT BOARDS UNLESS NOTED OTHERWISE. NOTE THAT FASCIA BOARD DESIGNATED FOR REPLACEMENT IS EITHER BASE BID OR ALTERNATE BID CORRELATED WITH THE ROOFING WORK. DEDUCT FROM CONTRACT ALLOWANCES.
⑨	DUCTWORK: TEMPORARILY DISCONNECT DUCTWORK TO PERFORM ROOFING WORK. PROVIDE NEW PREFABRICATED SUPPORTS. SEE DETAIL 2/A-2.1.
⑩	ROOFTOP EQUIPMENT: RAISE EXISTING CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT AND INSTALL NEW SLIP METAL FLASHING PER DETAIL 3/A-2.1 FOR BUILT-UP ROOF.
⑪	PLUMBING VENT: EXTEND PLUMBING VENTS AS NECESSARY TO MEET CODE REQUIREMENTS AND FLASH. SEE DETAIL 4/A-2.1 FOR BUILT-UP ROOF AND DETAIL 8/A-2.2 FOR PVC ROOF.
⑫	ROOF VENT: FLASH ROOF VENT SIMILAR TO DETAIL 5/A-2.1 FOR BUILT-UP ROOF.
⑬	SKYLIGHT: REPLACE EXISTING SKYLIGHT IN KIND. RAISE CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT. SEE DETAIL 7/A-2.2 FOR PVC ROOF.
⑭	CONDUITS: TEMPORARILY DISCONNECT EXISTING PIPING/CONDUITS AS NEEDED TO PERFORM ROOFING WORK. PROVIDE NEW PREFABRICATED SUPPORTS.
⑮	ROOF CRICKET: PROVIDE TAPERED INSULATION AT HIGH SIDE OF SKYLIGHTS IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) GUIDELINES. TYP.

MARK	DESCRIPTION
[Hatched Box]	REMOVE EXISTING BUILT-UP ROOFING AND INSTALL NEW HOT-APPLIED 4-PLY BUILT-UP ROOF MEMBRANE SYSTEM. TEN ROOF AREAS TOTAL. SEE SHEETS A-2.0 AND A-2.1.
[Solid Grey Box]	REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. THREE ROOF AREAS TOTAL. SEE SHEET A-2.2.
[Vertical Lines Box]	ALTERNATE NO. 1: REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. FIVE ROOF AREAS TOTAL. SEE SHEET A-2.2.

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Consultants

Project

Roof Replacement

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Foundation for Arts and Crafts
5131 Carnelian Street
Rancho Cucamonga, CA 91701

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Sam and Alfreda Maloof Foundation for Arts and Crafts

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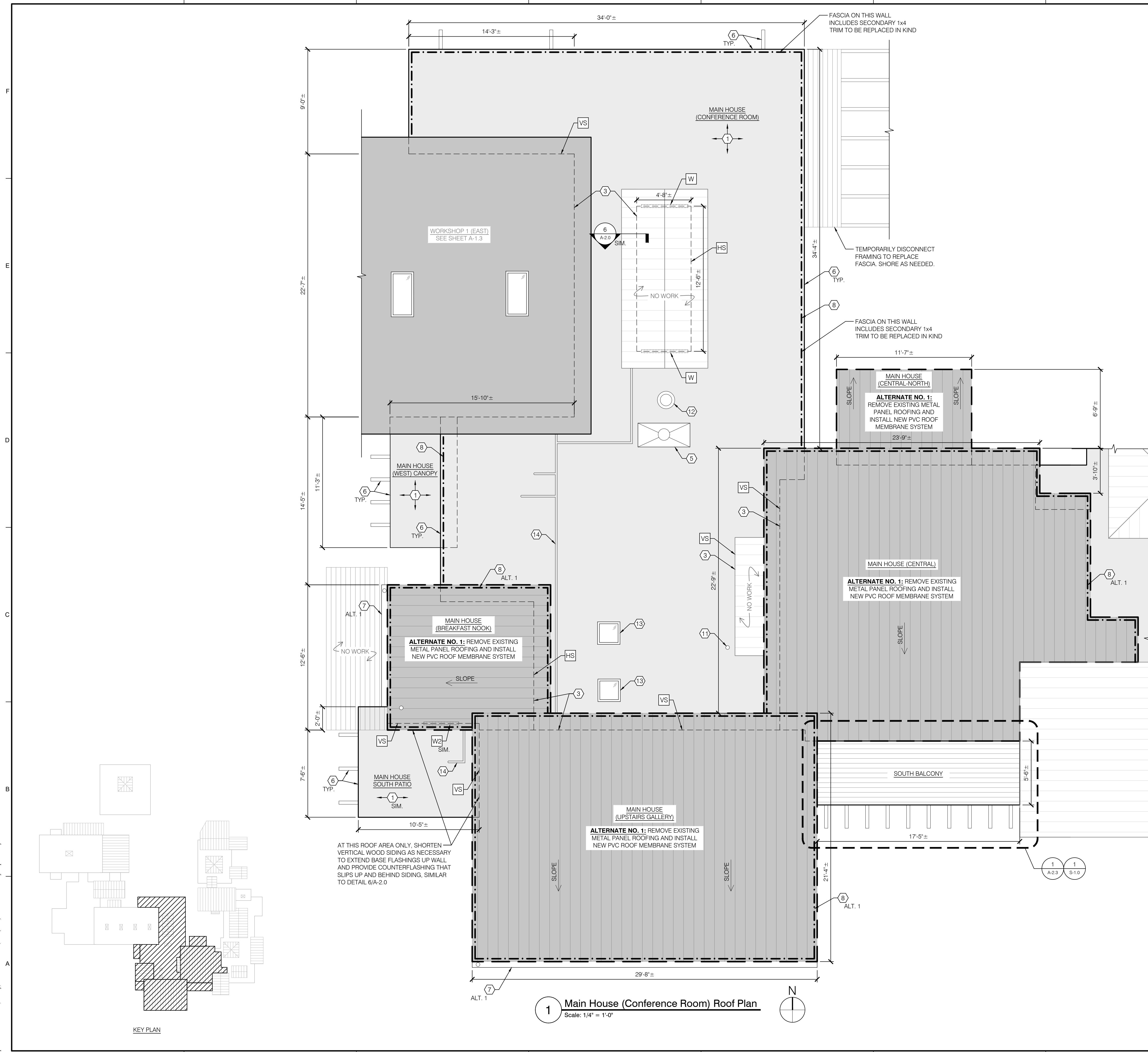
0 1/2" 1" 2"
THIS SHEET PLOTS FULL SIZE
AT 24x36 (INCHES)

Project No.	2020.3805
Date	November 10, 2023
Drawn	TC
Checked	MSM / JZ / JAC
Scale	As Shown

Main House (East) Roof Plan

Sheet Title

A-1.1



MARK	REPAIR NOTE LEGEND
①	BUILT-UP ROOFING: REMOVE EXISTING BUILT-UP ROOFING DOWN TO EXISTING WOOD DECK OR STRUCTURAL ROOF PANEL DECK AND INSTALL NEW BUILT-UP ROOF SYSTEM CONSISTING OF: RED ROSIN PAPER, BASE SHEET, 4-PLY BUILT-UP ROOFING SYSTEM, AND FLOOD COAT OF ASPHALT WITH PEA GRAVEL SURFACING. SEE DETAILS 1 THROUGH 4/A-2.0. ALTERNATE NO. 2: INSTALL NEW TWO-PLY GRANULAR SURFACED MODIFIED BITUMEN ROOF MEMBRANE IN LIEU OF BUILT-UP ROOFING. SEE DETAIL 5/A-2.0.
②	PVC ROOFING: REMOVE EXISTING METAL PANEL ROOFING DOWN TO EXISTING WOOD DECK AND INSTALL NEW PVC ROOF SYSTEM CONSISTING OF: VAPOR RETARDER/TEMPORARY ROOF MEMBRANE, RIGID INSULATION, COVER BOARD, AND ADHERED PVC ROOF MEMBRANE. SEE DETAILS 1 & 2/A-2.2. ALTERNATE NO. 1: AT DESIGNATED ROOF AREAS, INSTALL PVC ROOFING AS NOTED ABOVE.
③	WALL BASE AT WOOD CLADDING: REMOVE BOTTOM PORTION OF EXISTING WOOD CLADDING AT RISING WALLS AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING. SEE DETAILS 6 & 7/A-2.0 FOR BUILT-UP ROOF AND DETAIL 3/A-2.2 FOR PVC ROOF. HS = HORIZONTAL WOOD SIDING VS = VERTICAL WOOD SIDING SH = WOOD SHAKES
④	WALL BASE AT CLERESTORY WINDOWS: TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL FLASHINGS AT WINDOWS WITH LOW CLEARANCE OR ZERO CLEARANCE AS DESCRIBED BELOW. W = WINDOW WITH LOW CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING SIM. TO DETAIL 8/A-2.0. W2 = WINDOW WITH ZERO CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL REINFORCED FLUID-APPLIED FLASHING MEMBRANE. SEE DETAIL 9/A-2.0.
⑤	CHIMNEY: TERMINATE ROOFING AND INSTALL NEW COUNTERFLASHING. INSTALL ARCHITECTURAL COATING AND TRAFFIC COATING PER DETAIL 1/A-2.1.
⑥	ROOF EDGE: INSTALL NEW EDGE METAL FLASHING. SEE DETAIL 10/A-2.0 FOR BUILT-UP ROOF AND DETAIL 5/A-2.2 FOR PVC ROOF. AT ALL PROTRUDING RAFTER TAILS, INSTALL CAP FLASHING PER DETAIL 11/A-2.0. DAMAGED RAFTER TAILS TO BE REPAIRED PER DETAIL 1/S-3.0. DEDUCT FROM CONTRACT ALLOWANCES.
⑦	GUTTER: INSTALL NEW GUTTER AND DOWNSPOUT. DOWNSPOUT TO DRAIN TO GRADE. MATCH EXISTING GUTTER AND DOWNSPOUT SIZE AND LOCATION UNLESS NOTED OTHERWISE. SEE DETAIL 12/A-2.0 FOR BUILT-UP ROOF AND DETAIL 6/A-2.2 FOR PVC ROOF.
⑧	FASCIA BOARD: REPLACE DAMAGED WOOD FASCIA BOARDS ON INDIVIDUAL BASIS. ASSUME 2x10 REPLACEMENT BOARDS UNLESS NOTED OTHERWISE. NOTE THAT FASCIA BOARD DESIGNATED FOR REPLACEMENT IS EITHER BASE BID OR ALTERNATE BID CORRELATED WITH THE ROOFING WORK. DEDUCT FROM CONTRACT ALLOWANCES.
⑨	DUCTWORK: TEMPORARILY DISCONNECT DUCTWORK TO PERFORM ROOFING WORK. PROVIDE NEW PREFABRICATED SUPPORTS. SEE DETAIL 2/A-2.1.
⑩	ROOFTOP EQUIPMENT: RAISE EXISTING CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT AND INSTALL NEW SLIP METAL FLASHING PER DETAIL 3/A-2.1 FOR BUILT-UP ROOF.
⑪	PLUMBING VENT: EXTEND PLUMBING VENTS AS NECESSARY TO MEET CODE REQUIREMENTS AND FLASH. SEE DETAIL 4/A-2.1 FOR BUILT-UP ROOF AND DETAIL 8/A-2.2 FOR PVC ROOF.
⑫	ROOF VENT: FLASH ROOF VENT SIMILAR TO DETAIL 5/A-2.1 FOR BUILT-UP ROOF.
⑬	SKYLIGHT: REPLACE EXISTING SKYLIGHT IN KIND. RAISE CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT. SEE DETAIL 7/A-2.2 FOR PVC ROOF.
⑭	CONDUITS: TEMPORARILY DISCONNECT EXISTING PIPING/CONDUITS AS NEEDED TO PERFORM ROOFING WORK. PROVIDE NEW PREFABRICATED SUPPORTS.
⑮	ROOF CRICKET: PROVIDE TAPERED INSULATION AT HIGH SIDE OF SKYLIGHTS IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) GUIDELINES. TYP.

MARK	DESCRIPTION
①	REMOVE EXISTING BUILT-UP ROOFING AND INSTALL NEW HOT-APPLIED 4-PLY BUILT-UP ROOF MEMBRANE SYSTEM. TEN ROOF AREAS TOTAL. SEE SHEETS A-2.0 AND A-2.1.
②	REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. THREE ROOF AREAS TOTAL. SEE SHEET A-2.2.
③	ALTERNATE NO. 1: REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. FIVE ROOF AREAS TOTAL. SEE SHEET A-2.2.

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0 1/2" 1" 2"
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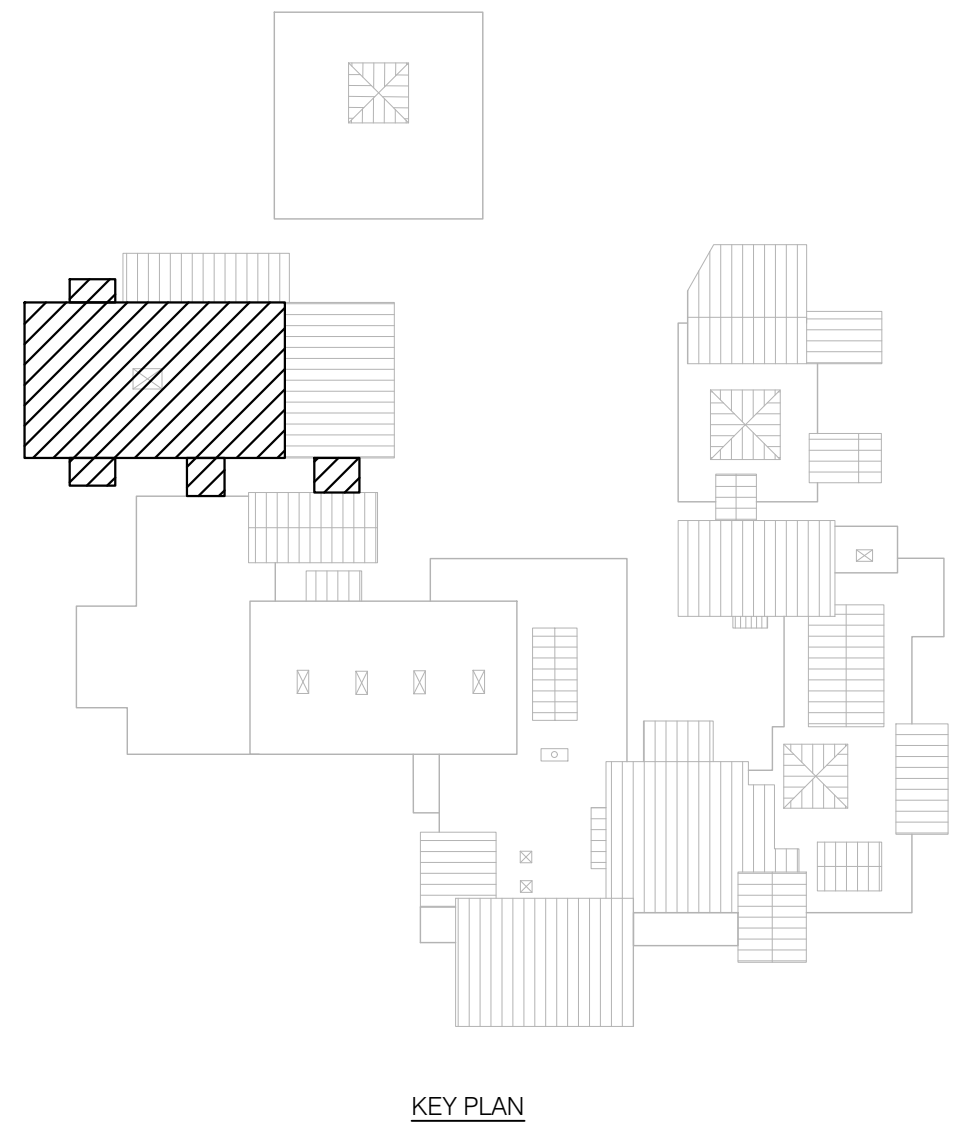
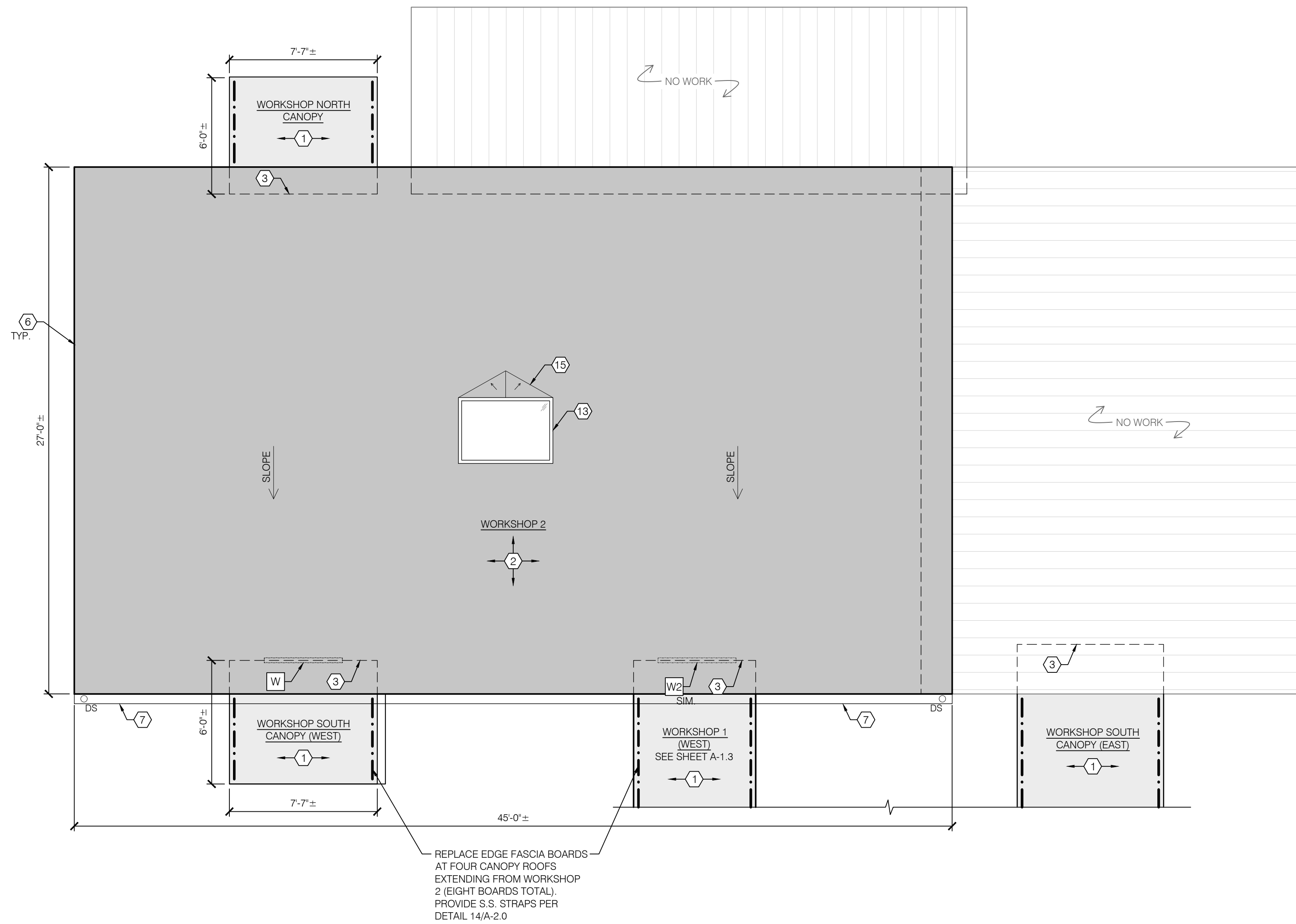
Checked MSM / JZ / JAC

Scale As Shown

Main House (Conference Room) Roof Plan

Sheet Title

A-1.2



MARK	REPAIR NOTE LEGEND
①	BUILT-UP ROOFING: REMOVE EXISTING BUILT-UP ROOFING DOWN TO EXISTING WOOD DECK OR STRUCTURAL ROOF PANEL DECK AND INSTALL NEW BUILT-UP ROOF SYSTEM CONSISTING OF: RED ROSIN PAPER, BASE SHEET, 4-PLY BUILT-UP ROOFING SYSTEM, AND FLOOD COAT OF ASPHALT WITH PEA GRAVEL SURFACING. SEE DETAILS 1 THROUGH 4/A-2.0. ALTERNATE NO. 2: INSTALL NEW TWO-PLY GRANULAR SURFACED MODIFIED BITUMEN ROOF MEMBRANE IN LIEU OF BUILT-UP ROOFING. SEE DETAIL 5/A-2.0.
②	PVC ROOFING: REMOVE EXISTING METAL PANEL ROOFING DOWN TO EXISTING WOOD DECK AND INSTALL NEW PVC ROOF SYSTEM CONSISTING OF: VAPOR RETARDER/TEMPORARY ROOF MEMBRANE, RIGID INSULATION, COVER BOARD, AND ADHERED PVC ROOF MEMBRANE. SEE DETAILS 1 & 2/A-2.2. ALTERNATE NO. 1: AT DESIGNATED ROOF AREAS, INSTALL PVC ROOFING AS NOTED ABOVE.
③	WALL BASE AT WOOD CLADDING: REMOVE BOTTOM PORTION OF EXISTING WOOD CLADDING AT RISING WALLS AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING. SEE DETAILS 6 & 7/A-2.0 FOR BUILT-UP ROOF AND DETAIL 3/A-2.2 FOR PVC ROOF.
HS	= HORIZONTAL WOOD SIDING
VS	= VERTICAL WOOD SIDING
SH	= WOOD SHAKES
④	WALL BASE AT CLERESTORY WINDOWS: TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL FLASHINGS AT WINDOWS WITH LOW CLEARANCE OR ZERO CLEARANCE AS DESCRIBED BELOW.
W	= WINDOW WITH LOW CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING SIM. TO DETAIL 8/A-2.0.
W2	= WINDOW WITH ZERO CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL REINFORCED FLUID-APPLIED FLASHING MEMBRANE. SEE DETAIL 9/A-2.0.
⑤	CHIMNEY: TERMINATE ROOFING AND INSTALL NEW COUNTERFLASHING. INSTALL ARCHITECTURAL COATING AND TRAFFIC COATING PER DETAIL 1/A-2.1.
⑥	ROOF EDGE: INSTALL NEW EDGE METAL FLASHING. SEE DETAIL 10/A-2.0 FOR BUILT-UP ROOF AND DETAIL 5/A-2.2 FOR PVC ROOF. AT ALL PROTRUDING RAFTER TAILS, INSTALL CAP FLASHING PER DETAIL 11/A-2.0. DAMAGED RAFTER TAILS TO BE REPAIRED PER DETAIL 1/S-3.0. DEDUCT FROM CONTRACT ALLOWANCES.
⑦	GUTTER: INSTALL NEW GUTTER AND DOWNSPOUT. DOWNSPOUT TO DRAIN TO GRADE. MATCH EXISTING GUTTER AND DOWNSPOUT SIZE AND LOCATION UNLESS NOTED OTHERWISE. SEE DETAIL 12/A-2.0 FOR BUILT-UP ROOF AND DETAIL 6/A-2.2 FOR PVC ROOF.
⑧	FASCIA BOARD: REPLACE DAMAGED WOOD FASCIA BOARDS ON INDIVIDUAL BASIS. ASSUME 2x10 REPLACEMENT BOARDS UNLESS NOTED OTHERWISE. NOTE THAT FASCIA BOARD DESIGNATED FOR REPLACEMENT IS EITHER BASE BID OR ALTERNATE BID CORRELATED WITH THE ROOFING WORK. DEDUCT FROM CONTRACT ALLOWANCES.
⑨	DUCTWORK: TEMPORARILY DISCONNECT DUCTWORK TO PERFORM ROOFING WORK. PROVIDE NEW PREFABRICATED SUPPORTS. SEE DETAIL 2/A-2.1.
⑩	ROOFTOP EQUIPMENT: RAISE EXISTING CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT AND INSTALL NEW SLIP METAL FLASHING PER DETAIL 3/A-2.1 FOR BUILT-UP ROOF.
⑪	PLUMBING VENT: EXTEND PLUMBING VENTS AS NECESSARY TO MEET CODE REQUIREMENTS AND FLASH. SEE DETAIL 4/A-2.1 FOR BUILT-UP ROOF AND DETAIL 8/A-2.2 FOR PVC ROOF.
⑫	ROOF VENT: FLASH ROOF VENT SIMILAR TO DETAIL 5/A-2.1 FOR BUILT-UP ROOF.
⑬	SKYLIGHT: REPLACE EXISTING SKYLIGHT IN KIND. RAISE CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT. SEE DETAIL 7/A-2.2 FOR PVC ROOF.
⑭	CONDUITS: TEMPORARILY DISCONNECT EXISTING PIPING/CONDUITS AS NEEDED TO PERFORM ROOFING WORK. PROVIDE NEW PREFABRICATED SUPPORTS.
⑮	ROOF CRICKET: PROVIDE TAPERED INSULATION AT HIGH SIDE OF SKYLIGHTS IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) GUIDELINES. TYP.

GENERAL LEGEND:	
	REMOVE EXISTING BUILT-UP ROOFING AND INSTALL NEW HOT-APPLIED 4-PLY BUILT-UP ROOF MEMBRANE SYSTEM. TEN ROOF AREAS TOTAL. SEE SHEETS A-2.0 AND A-2.1.
	REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. THREE ROOF AREAS TOTAL. SEE SHEET A-2.2.
	ALTERNATE NO. 1: REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. FIVE ROOF AREAS TOTAL. SEE SHEET A-2.2.

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Consultants

Project

Roof Replacement

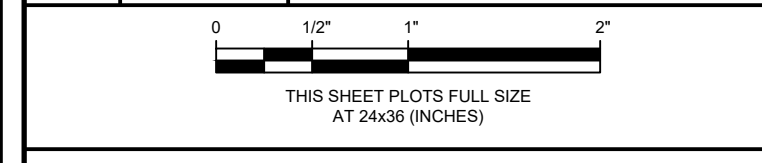
 Sam and Alfreda Maloof
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 Rancho Cucamonga, CA 91701

Client

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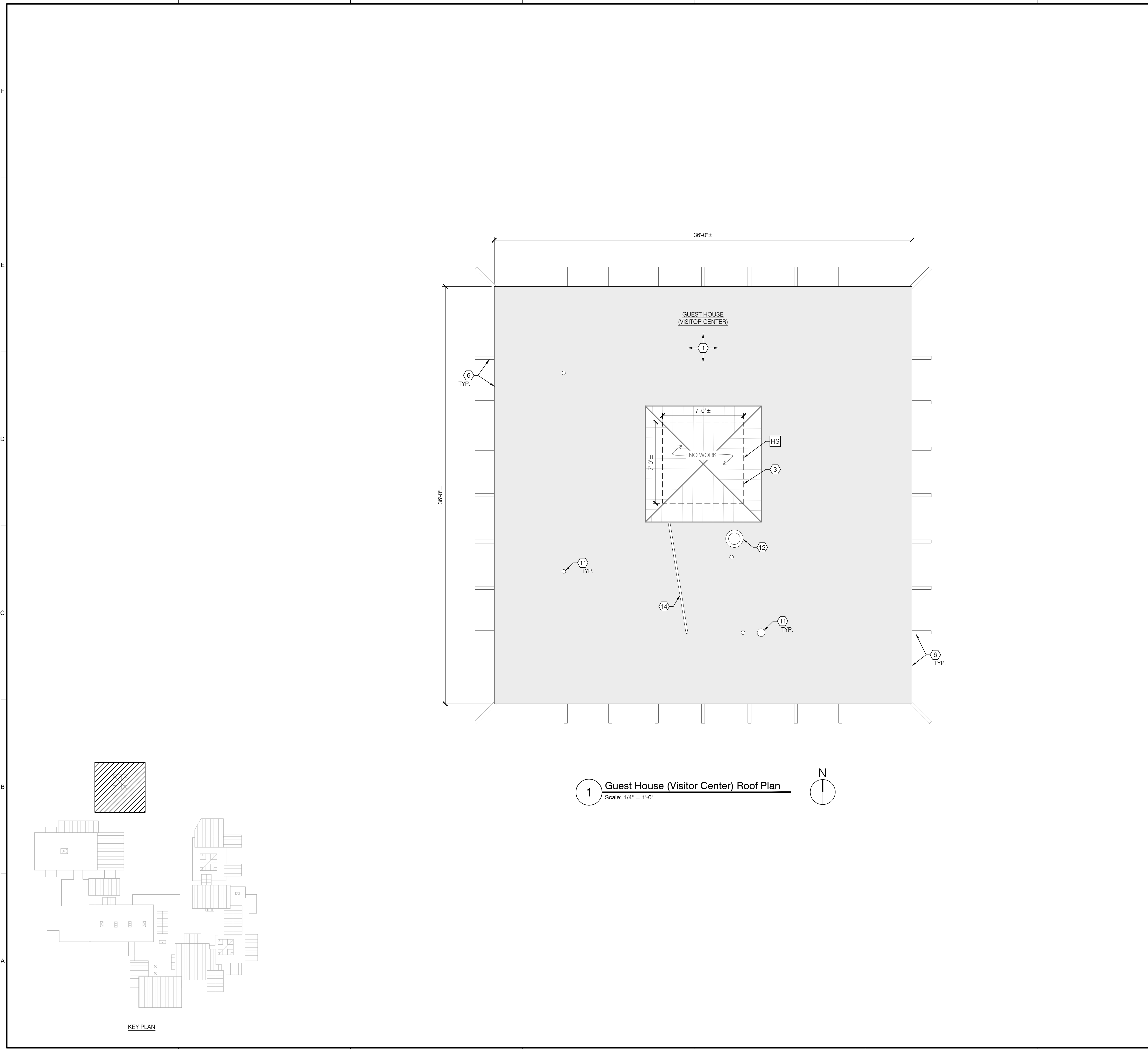


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Scale	As Shown

Workshop 2 Roof Plan

 Sheet Title

Sheet No. **A-1.4**



1 Guest House (Visitor Center) Roof Plan
Scale: 1/4" = 1'-0"

MARK	REPAIR NOTE LEGEND
①	BUILT-UP ROOFING: REMOVE EXISTING BUILT-UP ROOFING DOWN TO EXISTING WOOD DECK OR STRUCTURAL ROOF PANEL DECK AND INSTALL NEW BUILT-UP ROOF SYSTEM CONSISTING OF: RED ROSIN PAPER, BASE SHEET, 4-PLY BUILT-UP ROOFING SYSTEM, AND FLOOD COAT OF ASPHALT WITH PEA GRAVEL SURFACING. SEE DETAILS 1 THROUGH 4/A-2.0. ALTERNATE NO. 2: INSTALL NEW TWO-PLY GRANULAR SURFACED MODIFIED BITUMEN ROOF MEMBRANE IN LIEU OF BUILT-UP ROOFING. SEE DETAIL 5/A-2.0.
②	PVC ROOFING: REMOVE EXISTING METAL PANEL ROOFING DOWN TO EXISTING WOOD DECK AND INSTALL NEW PVC ROOF SYSTEM CONSISTING OF: VAPOR RETARDER/TEMPORARY ROOF MEMBRANE, RIGID INSULATION, COVER BOARD, AND ADHERED PVC ROOF MEMBRANE. SEE DETAILS 1 & 2/A-2.2. ALTERNATE NO. 1: AT DESIGNATED ROOF AREAS, INSTALL PVC ROOFING AS NOTED ABOVE.
③	WALL BASE AT WOOD CLADDING: REMOVE BOTTOM PORTION OF EXISTING WOOD CLADDING AT RISING WALLS AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING. SEE DETAILS 6 & 7/A-2.0 FOR BUILT-UP ROOF AND DETAIL 3/A-2.2 FOR PVC ROOF. [HS] = HORIZONTAL WOOD SIDING [VS] = VERTICAL WOOD SIDING [SH] = WOOD SHAKES
④	WALL BASE AT CLERESTORY WINDOWS: TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL FLASHINGS AT WINDOWS WITH LOW CLEARANCE OR ZERO CLEARANCE AS DESCRIBED BELOW. [W] = WINDOW WITH LOW CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL ROOF BASE FLASHING AND COUNTERFLASHING SIM. TO DETAIL 8/A-2.0. [W2] = WINDOW WITH ZERO CLEARANCE. TEMPORARILY REMOVE WOOD TRIM/SIDING AS NECESSARY TO INSTALL REINFORCED FLUID-APPLIED FLASHING MEMBRANE. SEE DETAIL 9/A-2.0.
⑤	CHIMNEY: TERMINATE ROOFING AND INSTALL NEW COUNTERFLASHING. INSTALL ARCHITECTURAL COATING AND TRAFFIC COATING PER DETAIL 1/A-2.1.
⑥	ROOF EDGE: INSTALL NEW EDGE METAL FLASHING. SEE DETAIL 10/A-2.0 FOR BUILT-UP ROOF AND DETAIL 5/A-2.2 FOR PVC ROOF. AT ALL PROTRUDING RAFTER TAILS, INSTALL CAP FLASHING PER DETAIL 11/A-2.0. DAMAGED RAFTER TAILS TO BE REPAIRED PER DETAIL 1/S-3.0. DEDUCT FROM CONTRACT ALLOWANCES.
⑦	GUTTER: INSTALL NEW GUTTER AND DOWNSPOUT. DOWNSPOUT TO DRAIN TO GRADE. MATCH EXISTING GUTTER AND DOWNSPOUT SIZE AND LOCATION UNLESS NOTED OTHERWISE. SEE DETAIL 12/A-2.0 FOR BUILT-UP ROOF AND DETAIL 6/A-2.2 FOR PVC ROOF.
⑧	FASCIA BOARD: REPLACE DAMAGED WOOD FASCIA BOARDS ON INDIVIDUAL BASIS. ASSUME 2x10 REPLACEMENT BOARDS UNLESS NOTED OTHERWISE. NOTE THAT FASCIA BOARD DESIGNATED FOR REPLACEMENT IS EITHER BASE BID OR ALTERNATE BID CORRELATED WITH THE ROOFING WORK. DEDUCT FROM CONTRACT ALLOWANCES.
⑨	DUCTWORK: TEMPORARILY DISCONNECT DUCTWORK TO PERFORM ROOFING WORK. PROVIDE NEW PREFABRICATED SUPPORTS. SEE DETAIL 2/A-2.1.
⑩	ROOFTOP EQUIPMENT: RAISE EXISTING CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT AND INSTALL NEW SLIP METAL FLASHING PER DETAIL 3/A-2.1 FOR BUILT-UP ROOF.
⑪	PLUMBING VENT: EXTEND PLUMBING VENTS AS NECESSARY TO MEET CODE REQUIREMENTS AND FLASH. SEE DETAIL 4/A-2.1 FOR BUILT-UP ROOF AND DETAIL 8/A-2.2 FOR PVC ROOF.
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⑬	SKYLIGHT: REPLACE EXISTING SKYLIGHT IN KIND. RAISE CURB AS NECESSARY TO ACCOMMODATE MINIMUM ROOF BASE FLASHING HEIGHT. SEE DETAIL 7/A-2.2 FOR PVC ROOF.
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GENERAL LEGEND:	
[Pattern]	REMOVE EXISTING BUILT-UP ROOFING AND INSTALL NEW HOT-APPLIED 4-PLY BUILT-UP ROOF MEMBRANE SYSTEM. TEN ROOF AREAS TOTAL. SEE SHEETS A-2.0 AND A-2.1.
[Pattern]	REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. THREE ROOF AREAS TOTAL. SEE SHEET A-2.2.
[Pattern]	ALTERNATE NO. 1: REMOVE EXISTING METAL PANEL ROOFING AND INSTALL NEW PVC ROOF MEMBRANE SYSTEM. FIVE ROOF AREAS TOTAL. SEE SHEET A-2.2.

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<p>THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)</p>		

Project No. 2020.3805

Date November 10, 2023

Drawn TC

Checked MSM / JZ / JAC

Scale As Shown

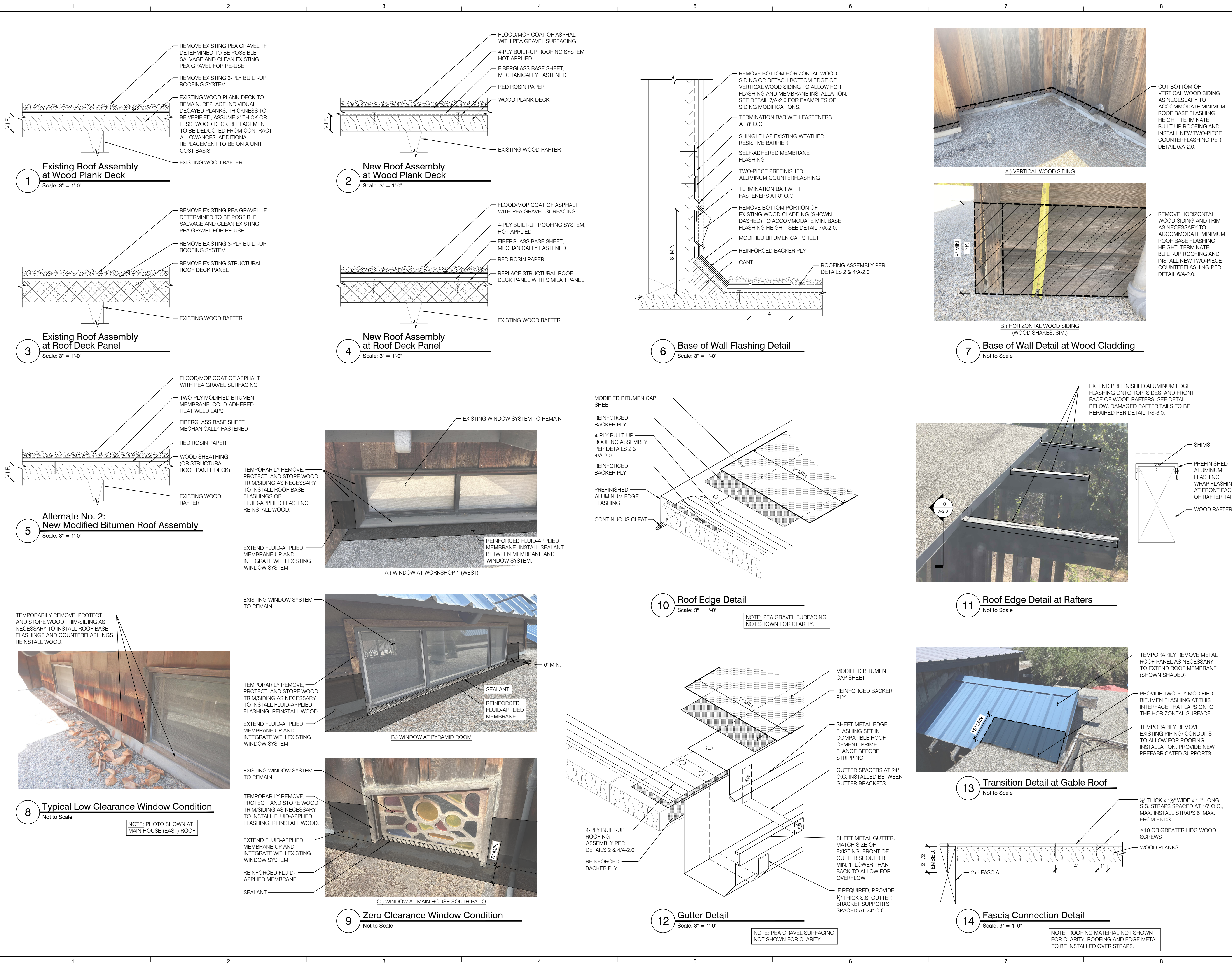
Guest House (Visitor Center) Roof Plan

Sheet Title

A-1.5

Plotted: 11/19/2023 4:35 PM by Chaijenk, Tanya File Name: P:\2020\2020\3xxx\2020.3805.0 - MALOOF RES & MUSEUM ROOF REPLACEMENT (MLS)\05 Construction Documents\Drawings\Roof Replacement\Roof Replacement - Bid Set.dwg

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Built-Up Roofing Details

Sheet Title

Sheet No. **A-2.0**

Plotted: 11/19/2023 4:35 PM by Chajjenkt, Tanya File Name: P:\2020\2020\3xxx\2020.3805.0 - MALOOF RES & MUSEUM ROOF REPLACEMENT (MLS)05 Construction Documents\01 Drawings\Roof Replacement\Roof Replacement_Malooof Foundation_Bid Set.dwg



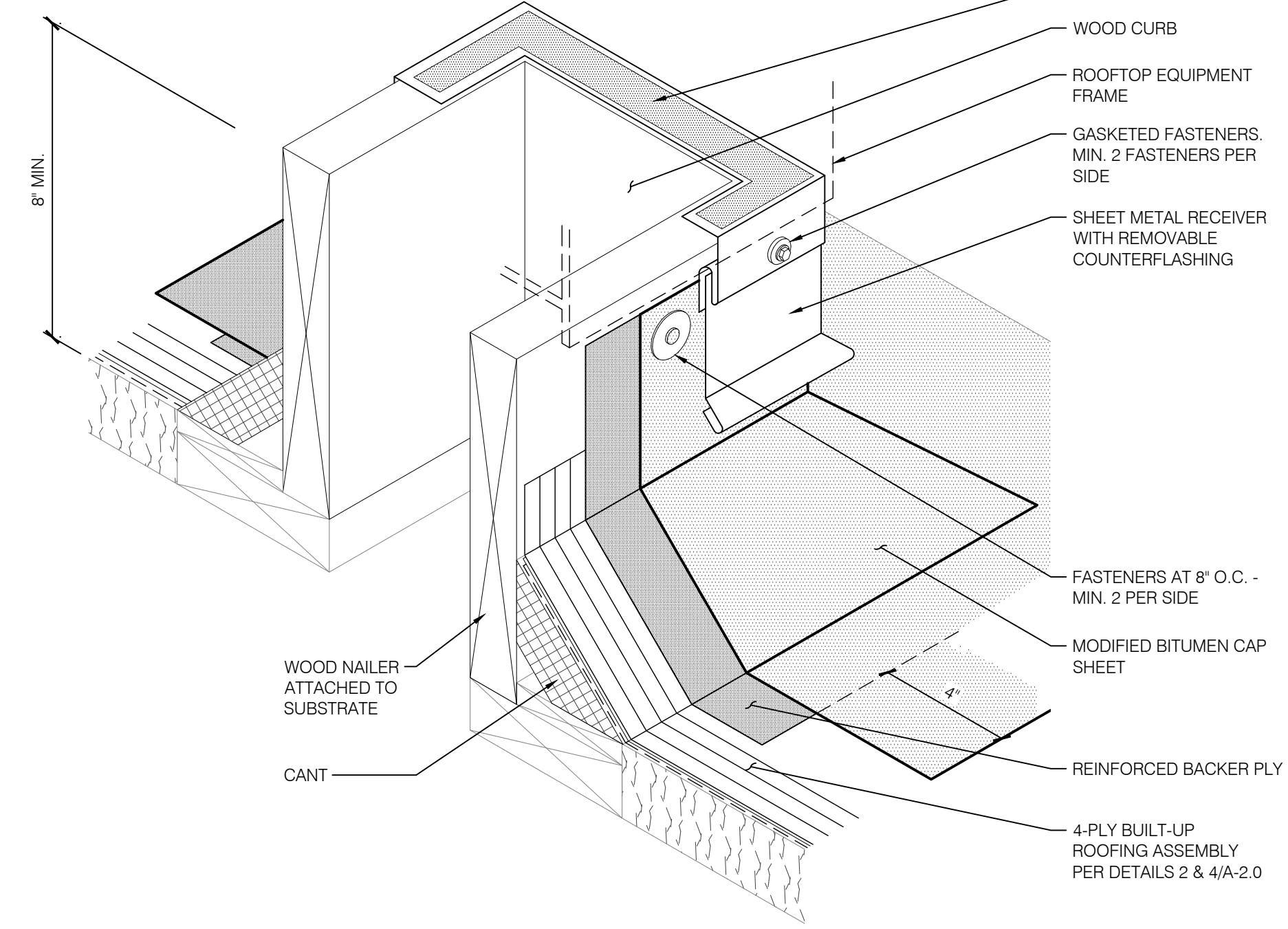
- APPLY PEDESTRIAN GRADE TRAFFIC COATING ON TOP SURFACE
- APPLY ARCHITECTURAL COATING ON FACES OF CHIMNEY
- INSTALL SHEET METAL FLASHING SIMILAR TO DETAIL 5/A-2.1
- EXTEND ROOF BASE FLASHING UP VERTICAL SIMILAR TO DETAIL 6/A-2.1. INSTALL PREFINISHED ALUMINUM COUNTERFLASHING FACE FASTENED TO MASONRY WITH CONTINUOUS SEALANT AT TOP KICK IN METAL.

1 Chimney Detail at Main House (Conference Room)
Not to Scale



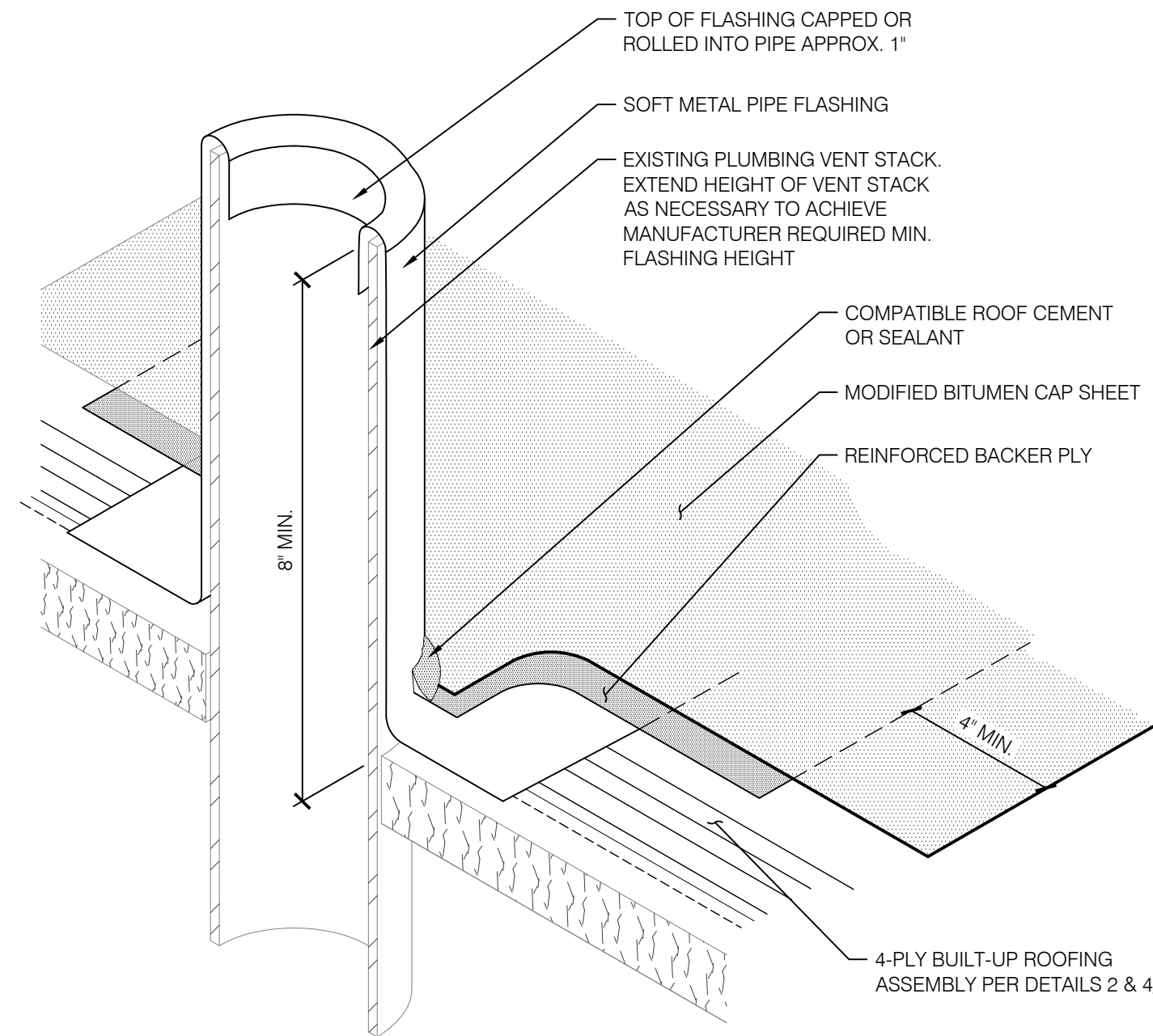
2 Rooftop Equipment and Duct at Workshop 1 (West)
Not to Scale

- TEMPORARILY DISCONNECT DUCTWORK TO PERFORM ROOFING WORK
- TEMPORARILY REMOVE UNIT AS NECESSARY TO PERFORM ROOFING WORK. PROVIDE NEW CURB SIM. TO DETAIL 3/A-2.1.
- PROVIDE NEW PREFABRICATED SUPPORTS



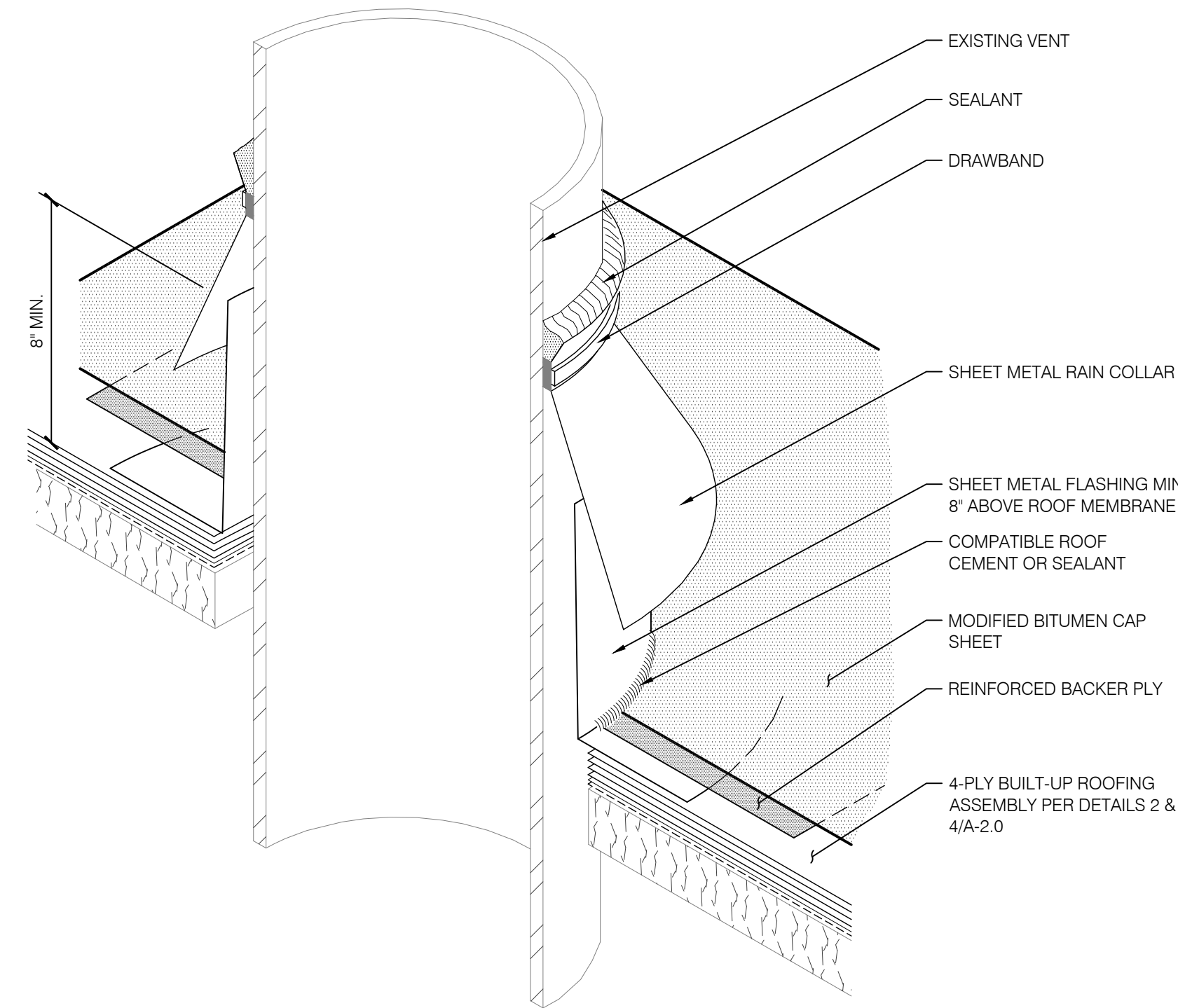
3 Equipment Curb Flashing Detail
Not to Scale

NOTE: PEA GRAVEL SURFACING NOT SHOWN FOR CLARITY.



4 Plumbing Vent Detail
Not to Scale

NOTE: PEA GRAVEL SURFACING NOT SHOWN FOR CLARITY.



5 Vent Flashing Detail
Not to Scale

NOTE: PEA GRAVEL SURFACING NOT SHOWN FOR CLARITY.

Consultants

Project

Roof Replacement

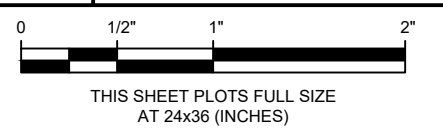
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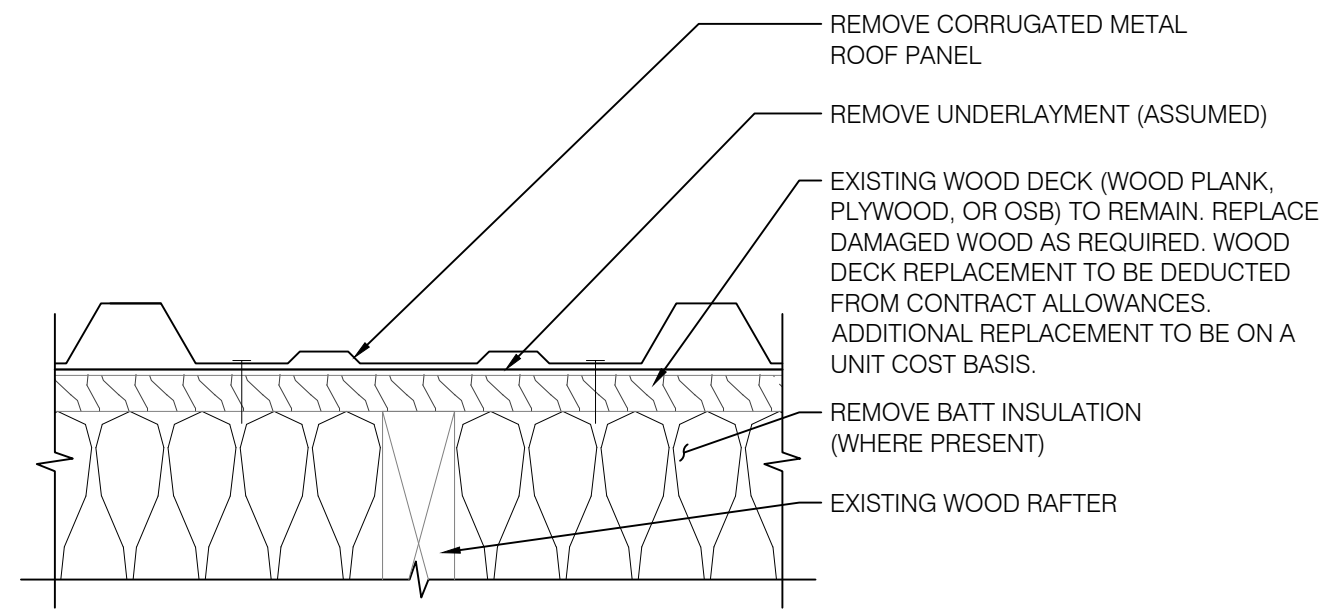
Built-Up Roofing Details

Sheet Title

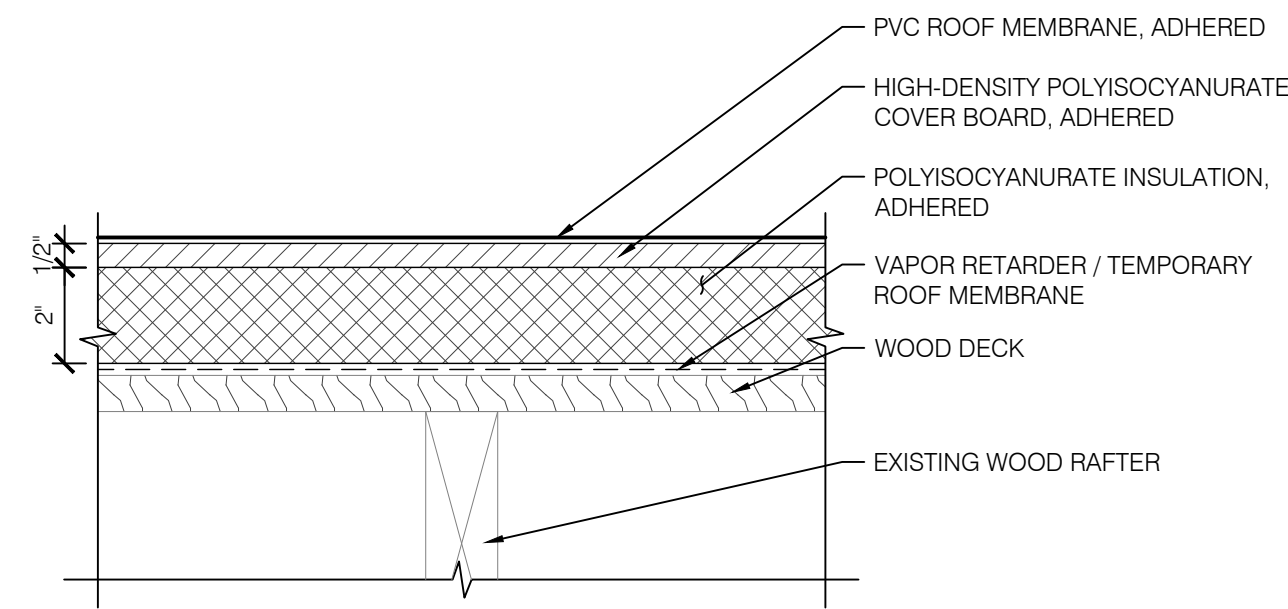
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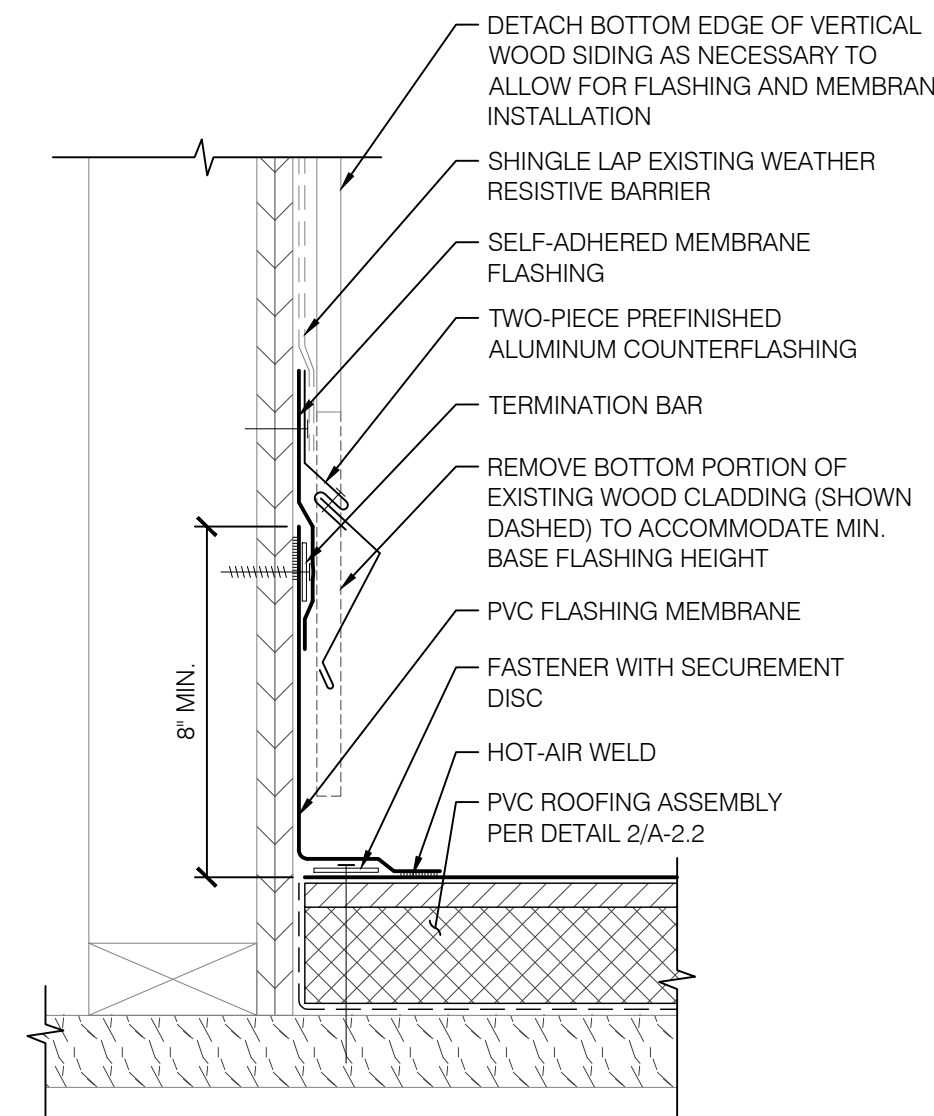
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1 Existing Roof Assembly
Scale: 3" = 1'-0"



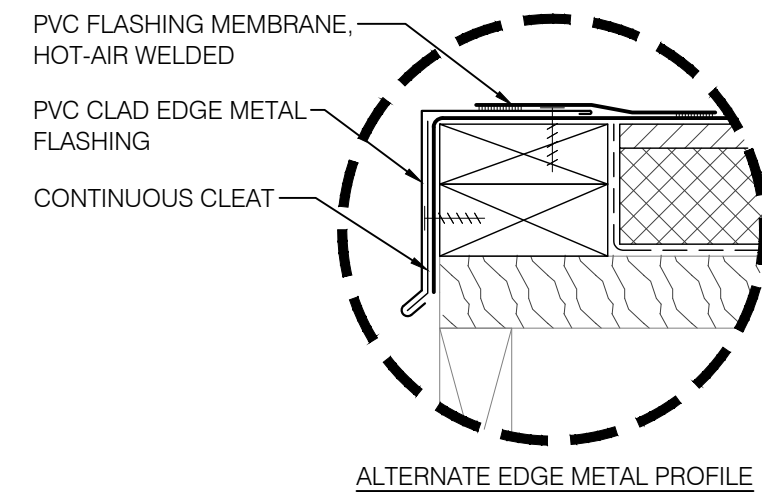
2 New Roof Assembly
Scale: 3" = 1'-0"



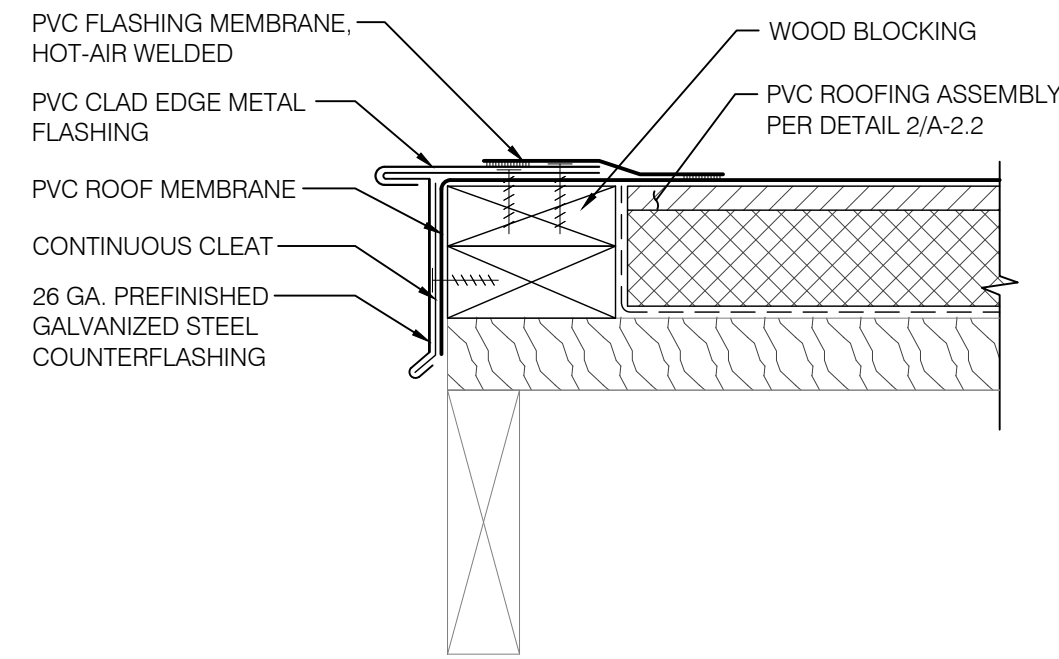
3 Wall Termination Detail
Scale: 3" = 1'-0"



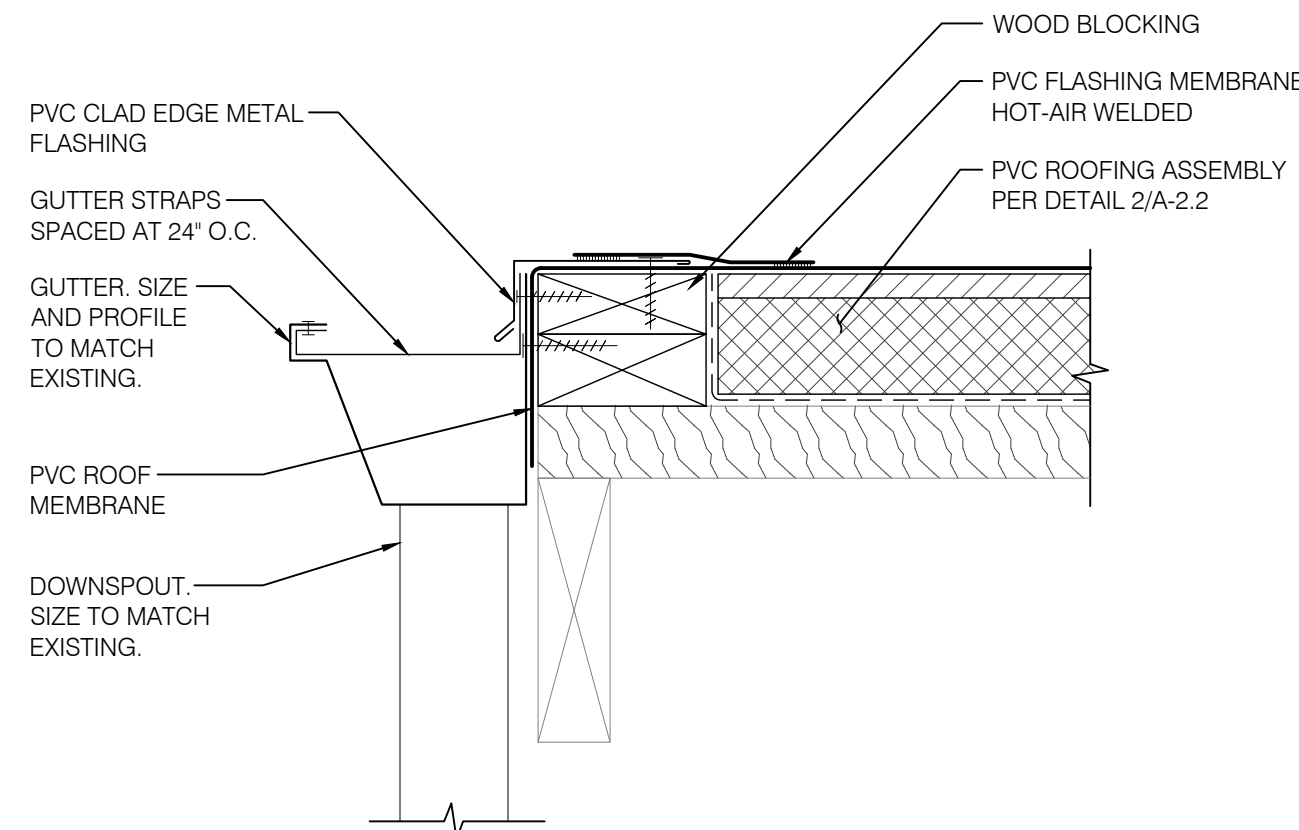
4 Main House (Primary Bathroom) Roof - Existing Conditions
Not to Scale



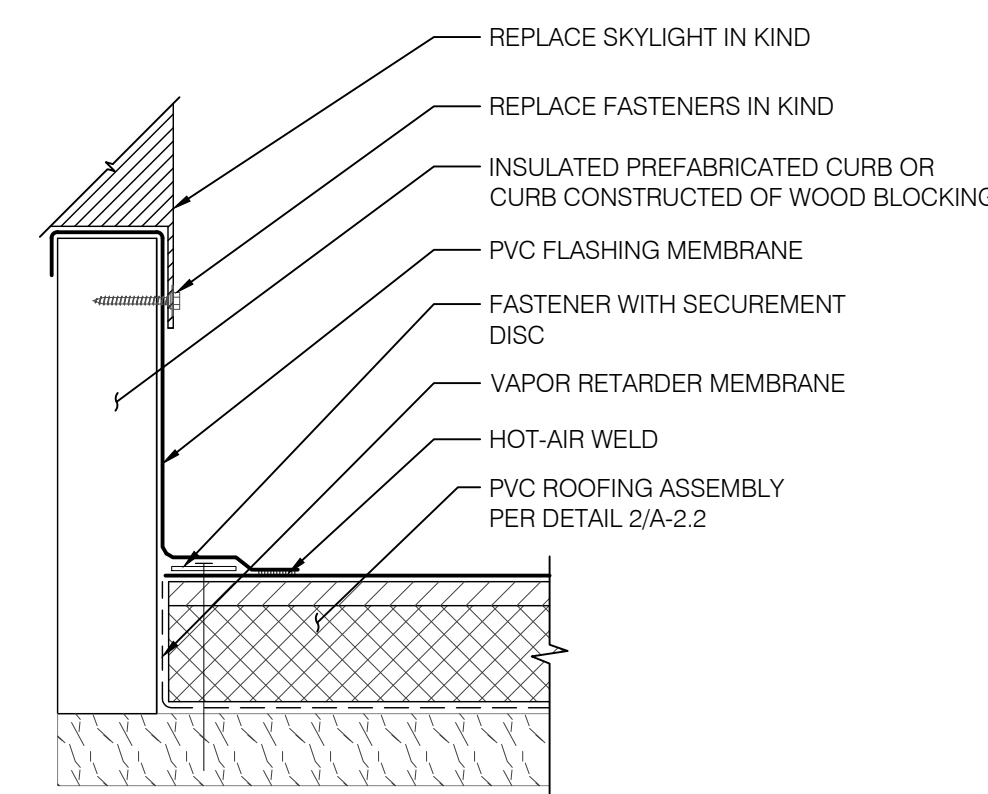
ALTERNATE EDGE METAL PROFILE



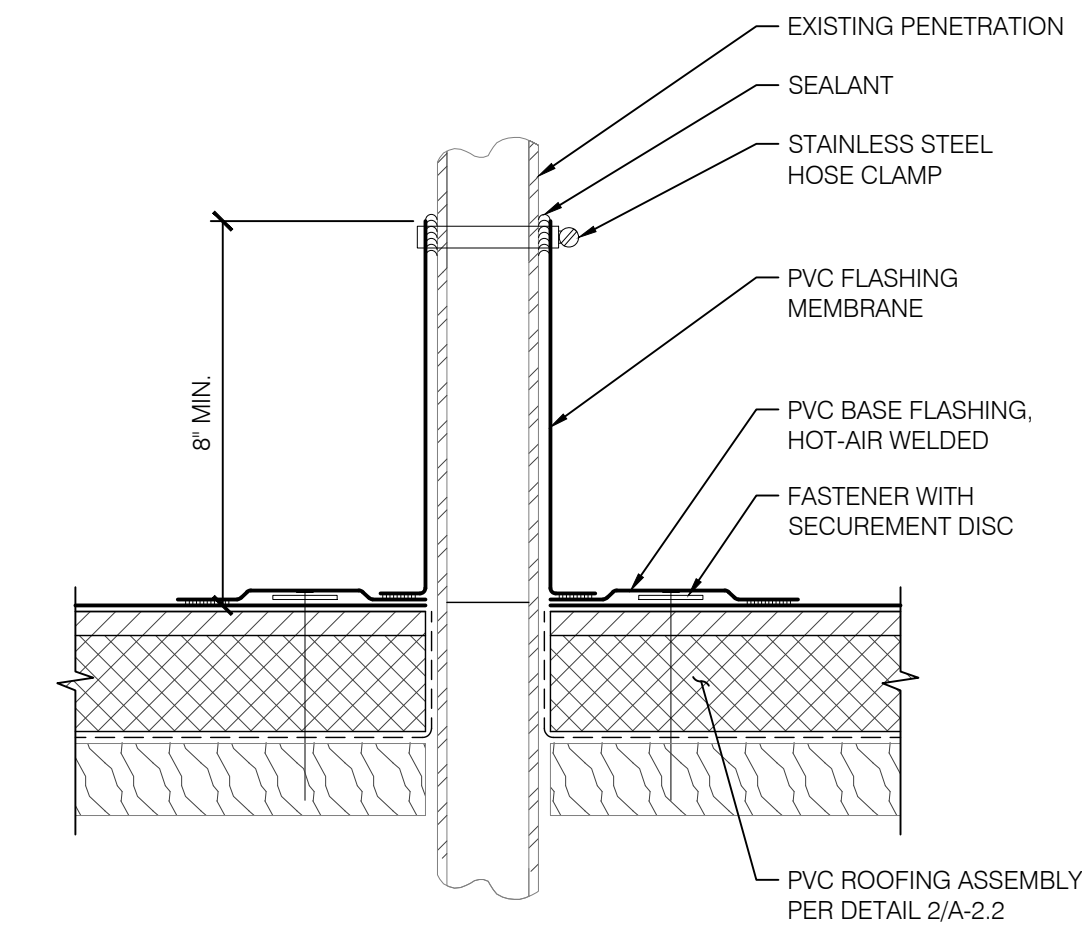
5 Roof Edge Detail
Scale: 3" = 1'-0"



6 Gutter Detail
Scale: 3" = 1'-0"



7 Skylight Detail
Scale: 3" = 1'-0"



8 Plumbing Vent Detail
Scale: 3" = 1'-0"

Consultants

Project

Roof Replacement

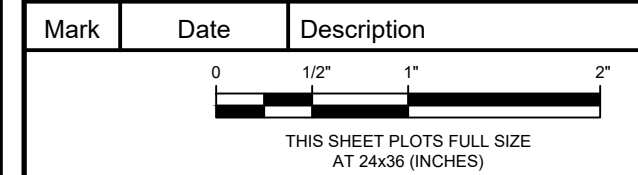
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PVC Roofing Details

Sheet Title

Sheet No. **A-2.2**

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Project

Roof Replacement

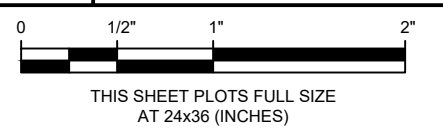
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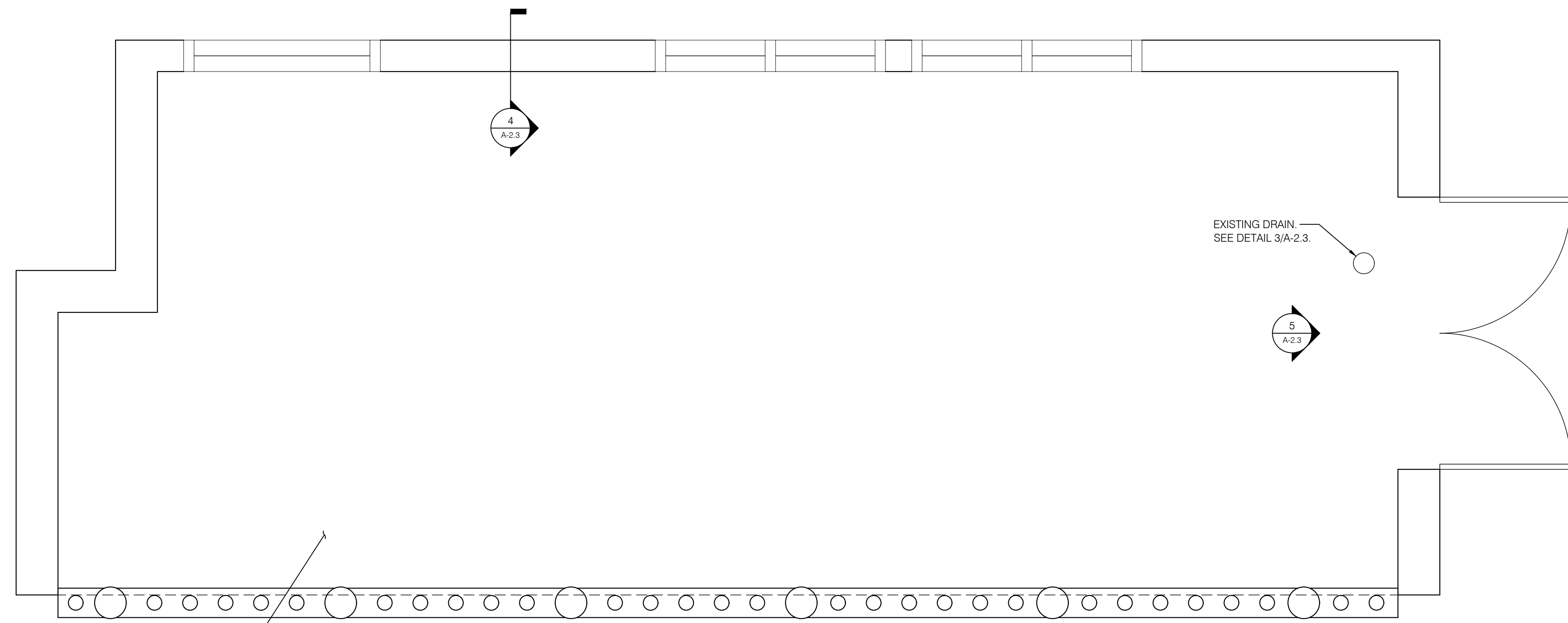
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Traffic Coating Details

Sheet Title

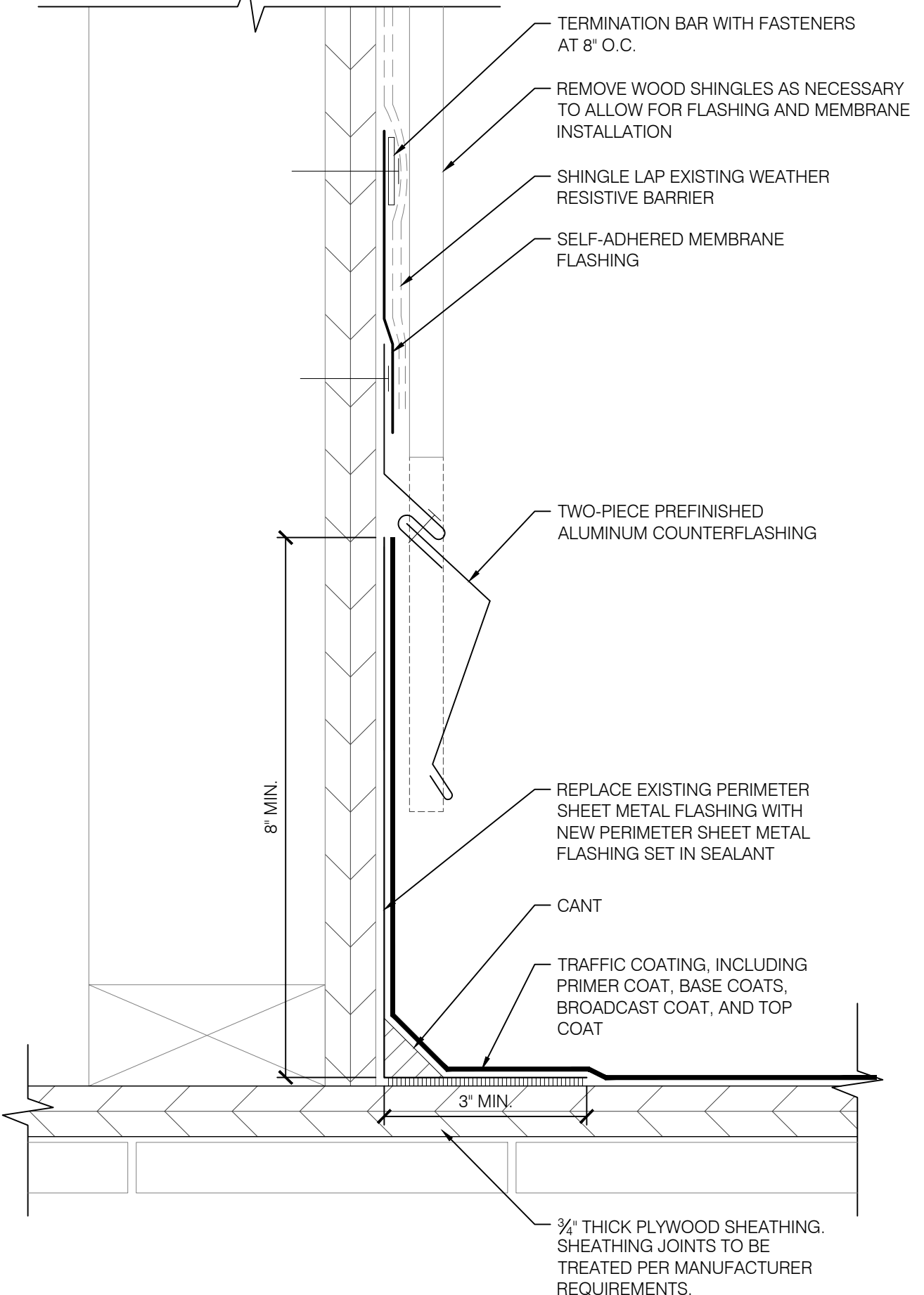
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A-2.3



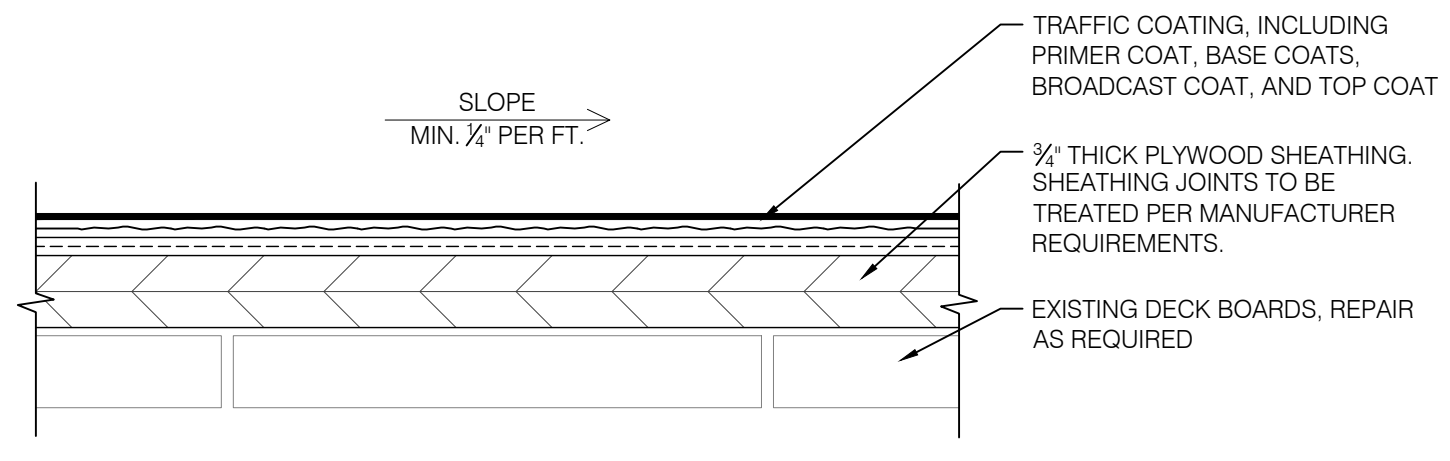
1 South Balcony Plan
 Scale: 3/4" = 1'-0"

NOTE: REFER TO STRUCTURAL SHEETS FOR WOOD FRAMING REPAIRS

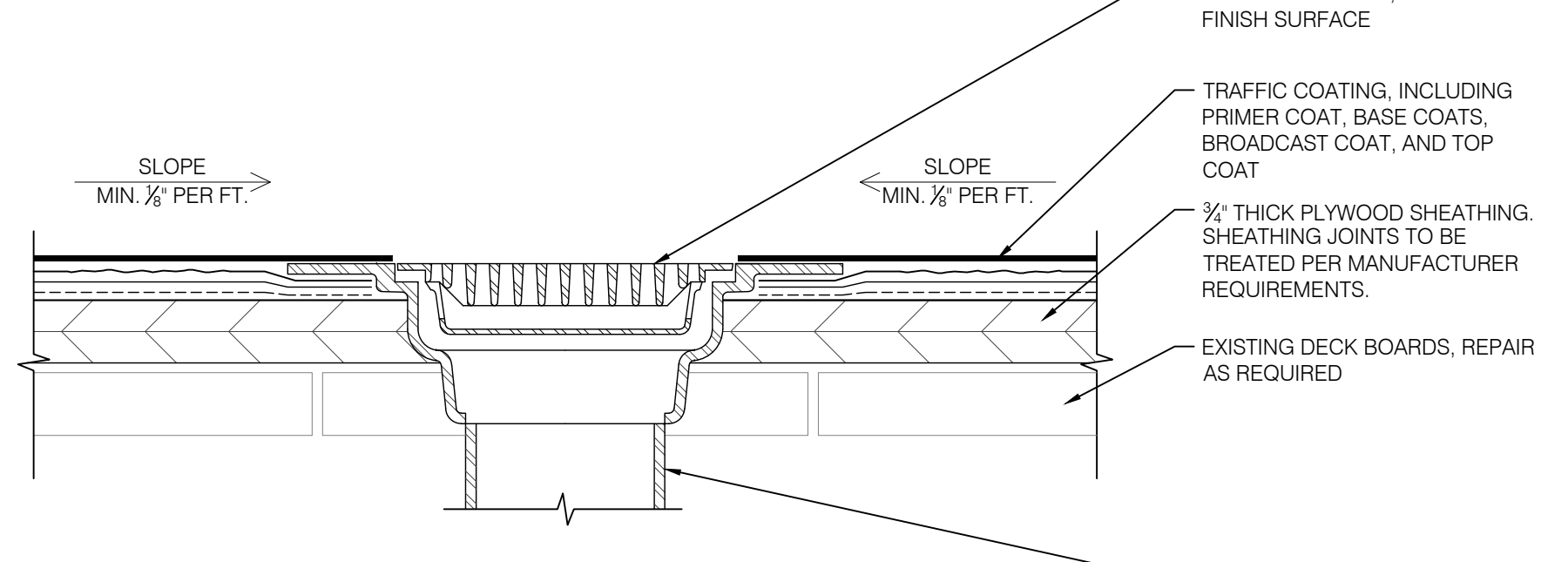


4 Base of Wall Detail
 Scale: 6" = 1'-0"

NOTE: LAYERS OF TRAFFIC COATING SYSTEM NOT SHOWN FOR CLARITY.



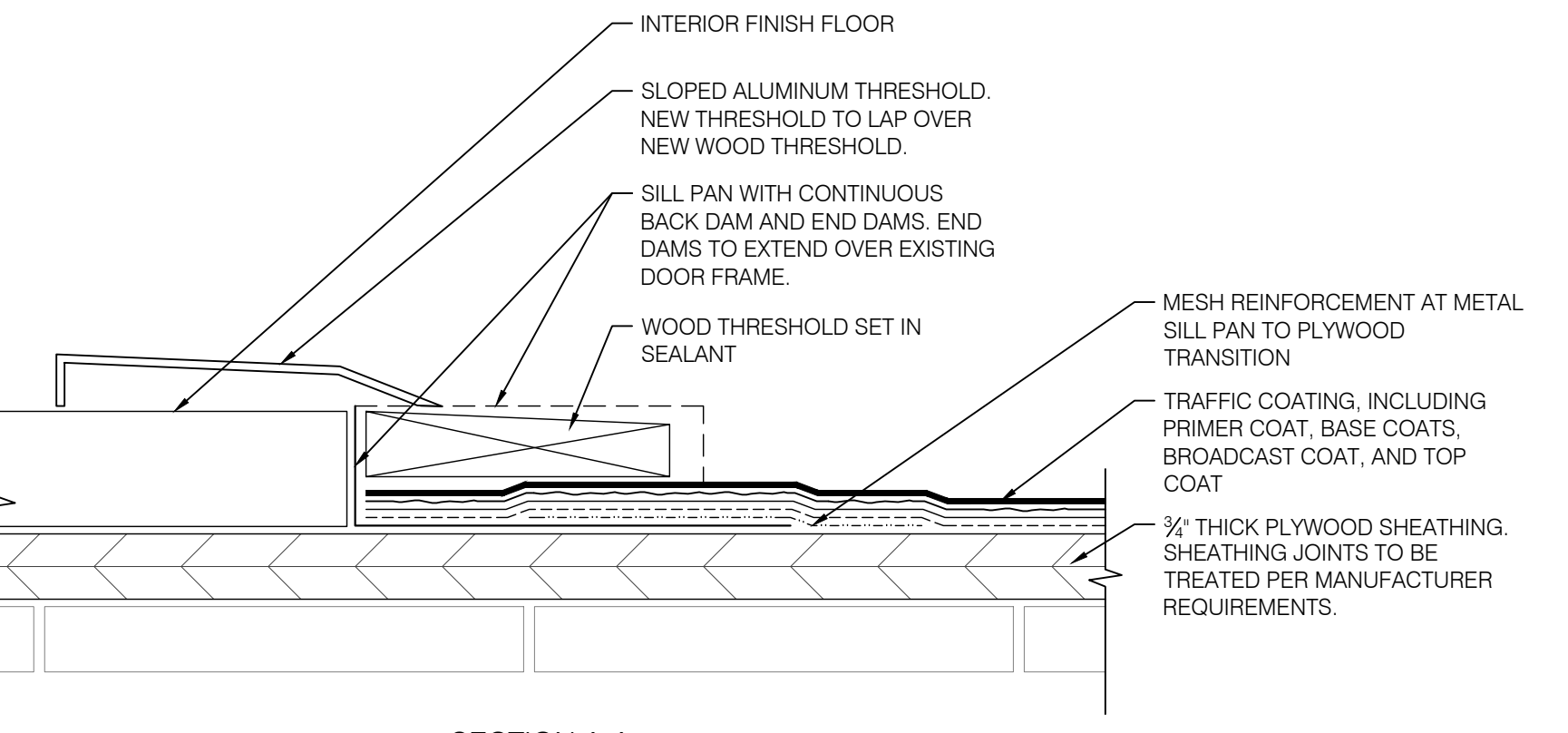
2 Typical Balcony Assembly Detail
 Scale: 6" = 1'-0"



3 Drain Detail
 Scale: 6" = 1'-0"

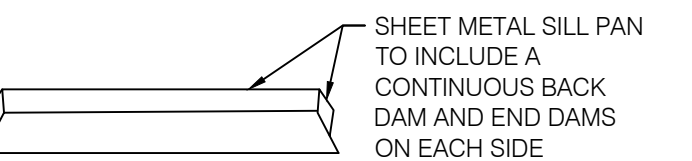


PERIMETER BASE FLASHING TO EXTEND UNDER DOOR FRAME AND LAP UNDER SILL PAN
 REMOVE EXISTING WOOD THRESHOLD AND PROVIDE SHEET METAL SILL PAN WITH CONTINUOUS BACK DAM AND END DAMS TO INTEGRATE WITH NEW TRAFFIC COATING. END DAMS TO EXTEND OVER EXISTING DOOR FRAME. REPLACE WOOD THRESHOLD AND SET IN SEALANT.
 REMOVE AND REPLACE EXISTING ALUMINUM THRESHOLD. NEW THRESHOLD TO LAP OVER THE NEW WOOD THRESHOLD.



SECTION A-A

5 Door Threshold Detail
 Scale: 6" = 1'-0"



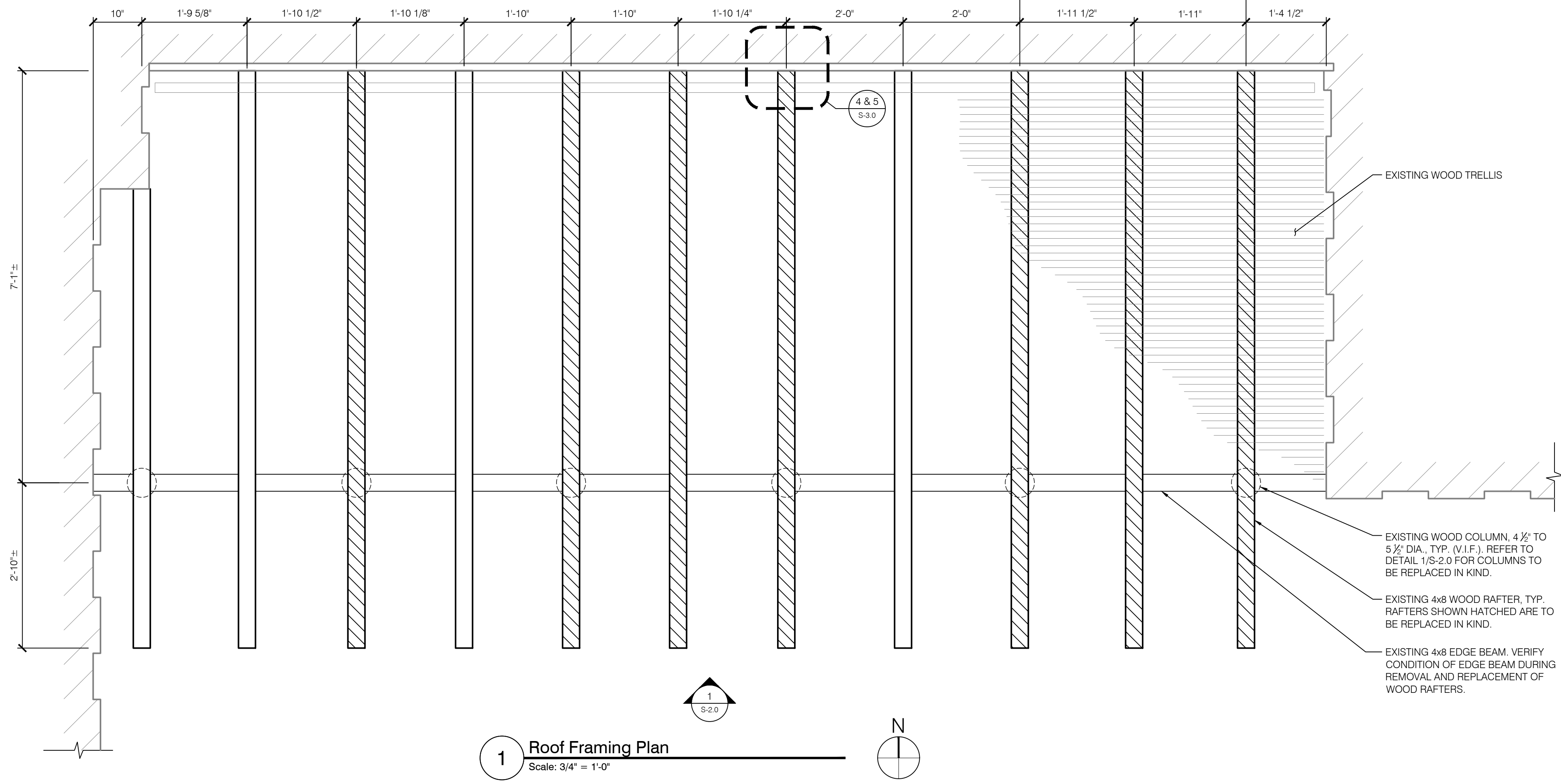
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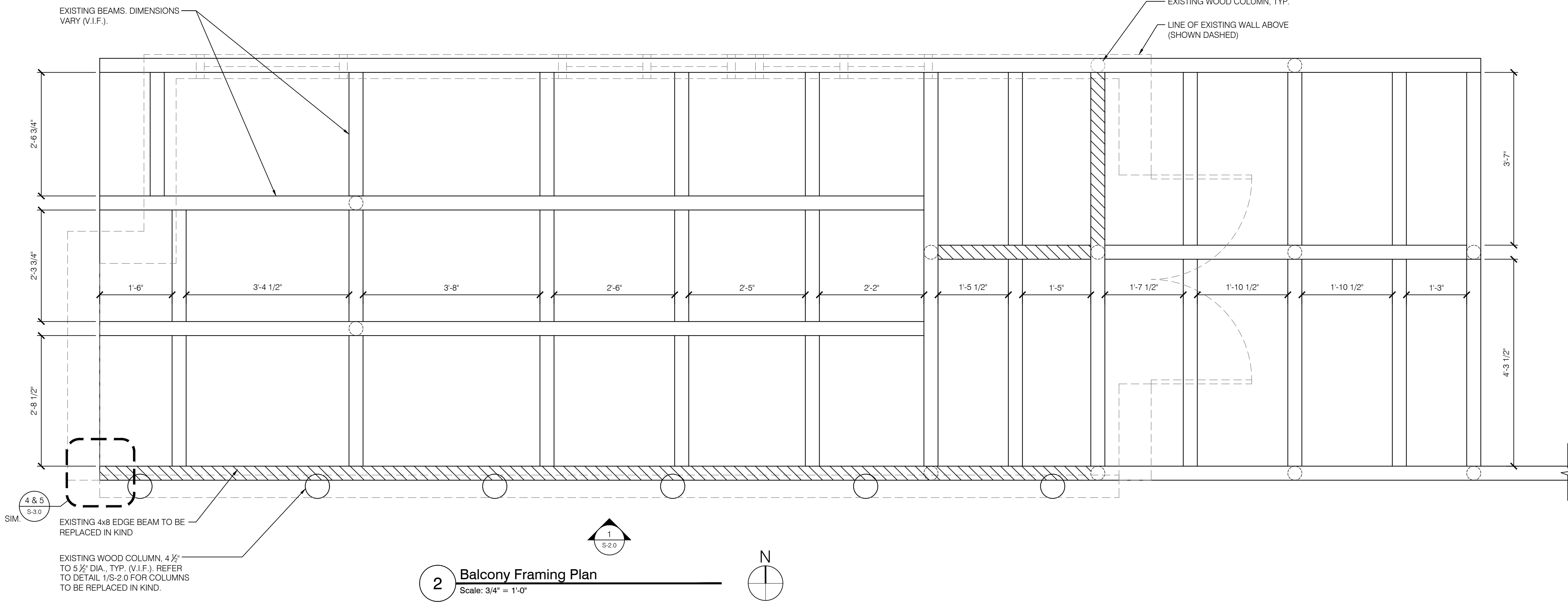
GENERAL STRUCTURAL NOTES

1. THE CONTRACTOR SHALL SHORE BALCONY AS NEEDED TO SUPPORT THE STRUCTURE DURING REMOVAL AND REPLACEMENT OF STRUCTURAL MEMBERS AND TO PROVIDE FOR WORKER AND OCCUPANT SAFETY. SHORING SHALL BE TEMPORARY AND SHOULD BE INSTALLED IN A MANNER SO AS TO NOT DAMAGE THE HISTORIC MATERIALS.
2. CONSTRUCTION AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. NOMINAL DIMENSIONAL LUMBER IS INDICATED BY #X#, WHERE # IS THE NOMINAL DIMENSION. FULL CUT DIMENSIONAL LUMBER, CUT WITH ACTUAL DIMENSIONS, IS INDICATED BY #X#" WHERE # IS THE ACTUAL DIMENSION IN INCHES.
4. WOOD FRAMING ELEMENTS NOTED TO BE REPLACED IN-KIND ARE INTENDED TO MATCH DIMENSIONS OF EXISTING. FOR EXAMPLE, A POST LABELED AS 4x4" AND TO BE REPLACED IN-KIND IS INTENDED TO BE REPLACED WITH A NEW 4x4" POST. VERIFY ALL DIMENSIONS OF ELEMENTS TO BE REPLACED PRIOR TO REMOVAL AND IN-KIND REPLACEMENT.
5. "IN-KIND" REPLACEMENT INDICATES THAT THE MATERIAL AND GEOMETRY OF AN ELEMENT CLOSELY MATCHES THE EXISTING ELEMENT IN ARCHITECTURAL AND STRUCTURAL QUALITIES AND CHARACTERISTICS SUCH AS SPECIES, CUT, COLOR, GRAIN, DIMENSION, PROFILE, THICKNESS, AND FINISH.
6. EXISTING STRUCTURAL HARDWARE AND FASTENERS ARE TO BE RETAINED OR REMOVED AND SALVAGED/REINSTALLED. "RETAIN" INDICATES THAT EXISTING ITEMS ARE NOT TO BE REMOVED. "REMOVE AND REINSTALL" INDICATES THAT EXISTING ITEMS ARE TO BE DETACHED FROM EXISTING ELEMENTS, PREPARED FOR REUSE, AND REINSTALLED.
7. ALL WASTE GENERATED BY THE WORK SHALL BE REMOVED FROM THE PREMISES AND LEGALLY DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN.

LEGEND:
 REMOVE AND REPLACE IN KIND



1 Roof Framing Plan
 Scale: 3/4" = 1'-0"



2 Balcony Framing Plan
 Scale: 3/4" = 1'-0"

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 Foundation for Arts and Crafts
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 Rancho Cucamonga, CA 91701

Client

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South Balcony Framing Plans

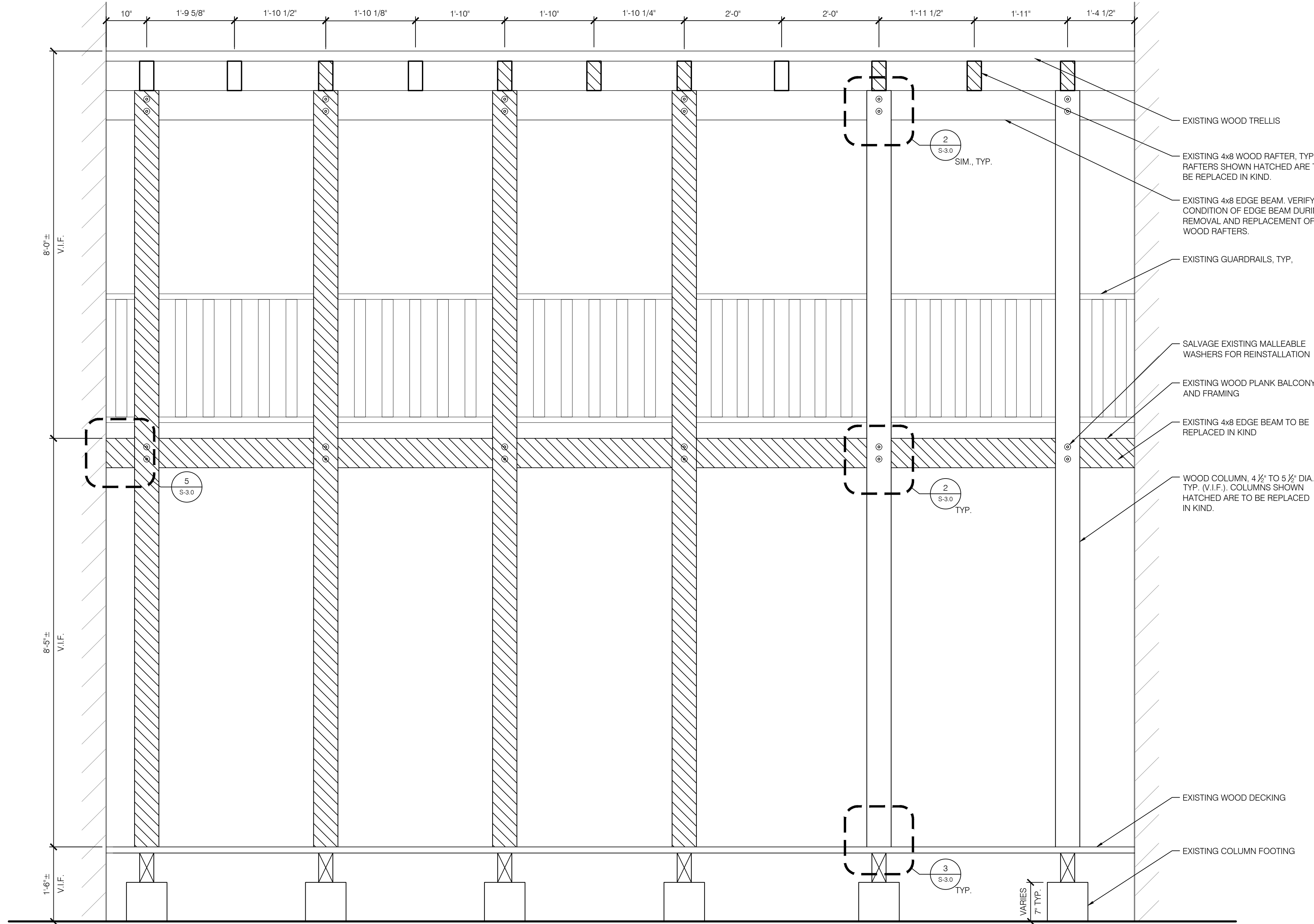
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Sheet No. **S-1.0**

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LEGEND:
 REMOVE AND REPLACE IN KIND

1 Main House South Balcony Elevation
 Scale: 3/4" = 1'-0"

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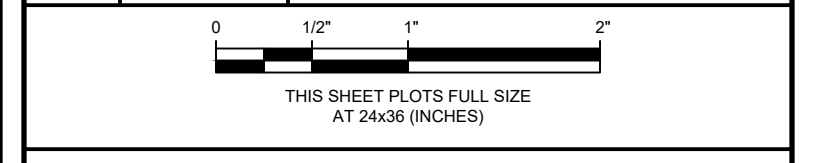
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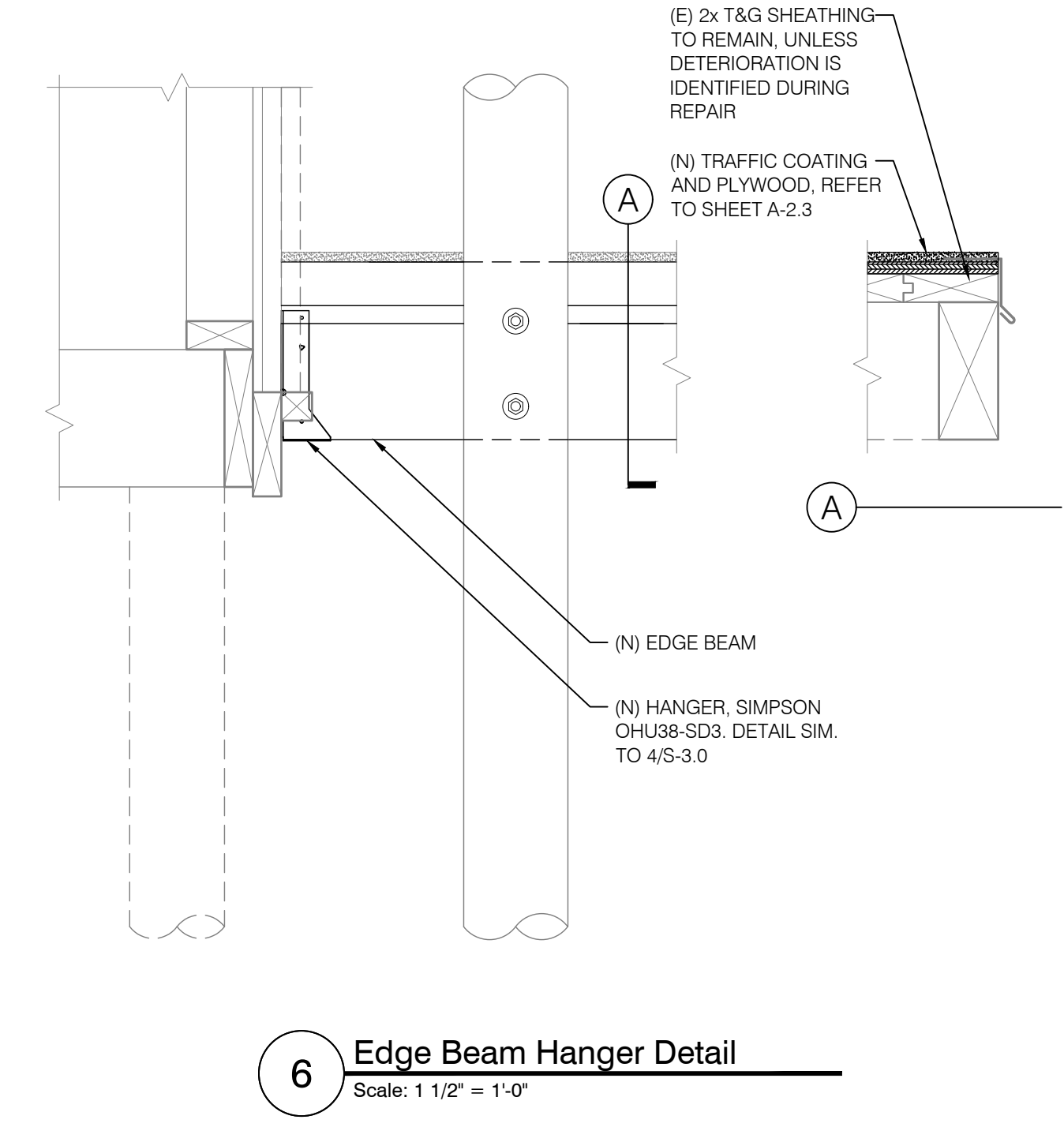
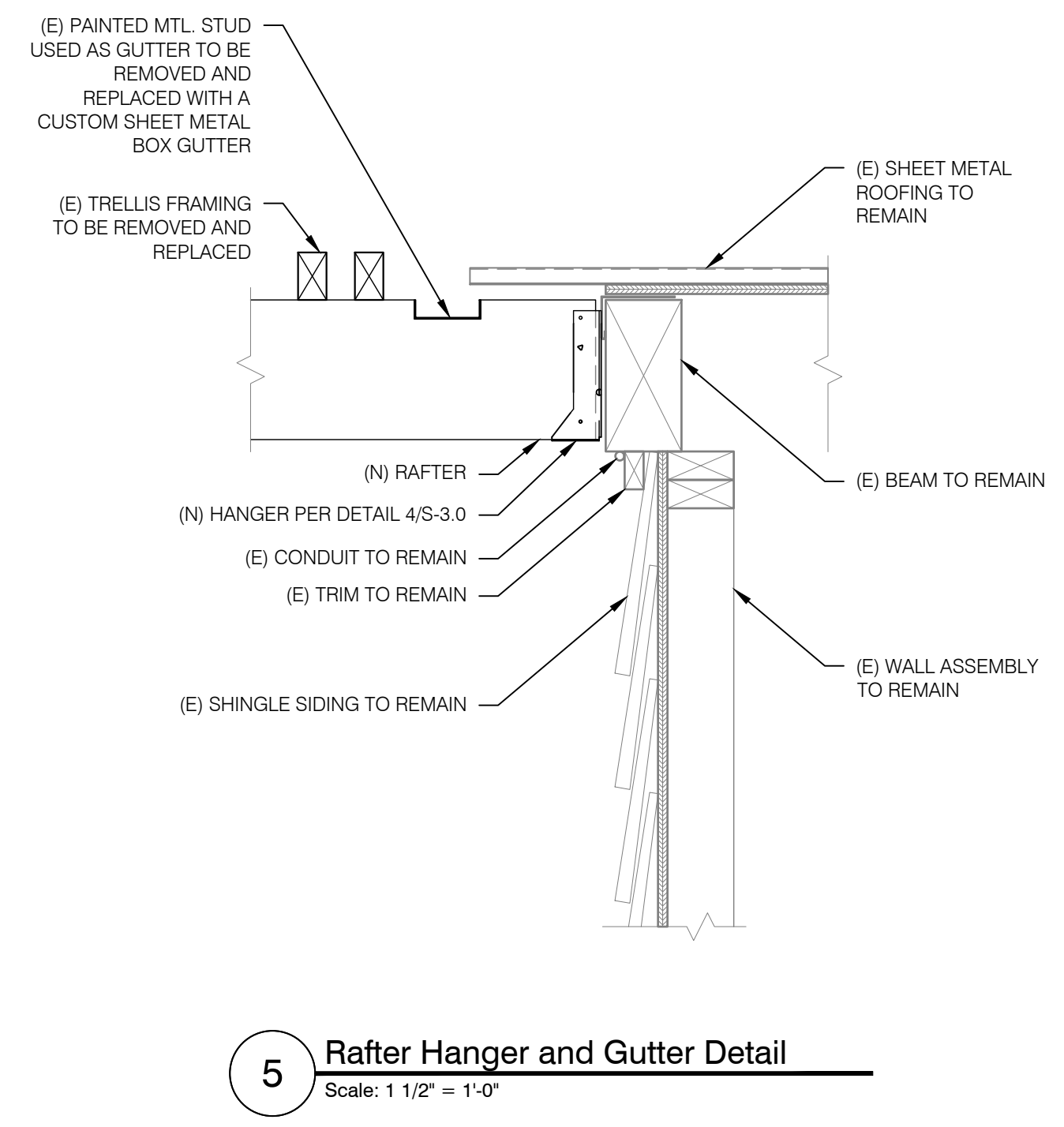
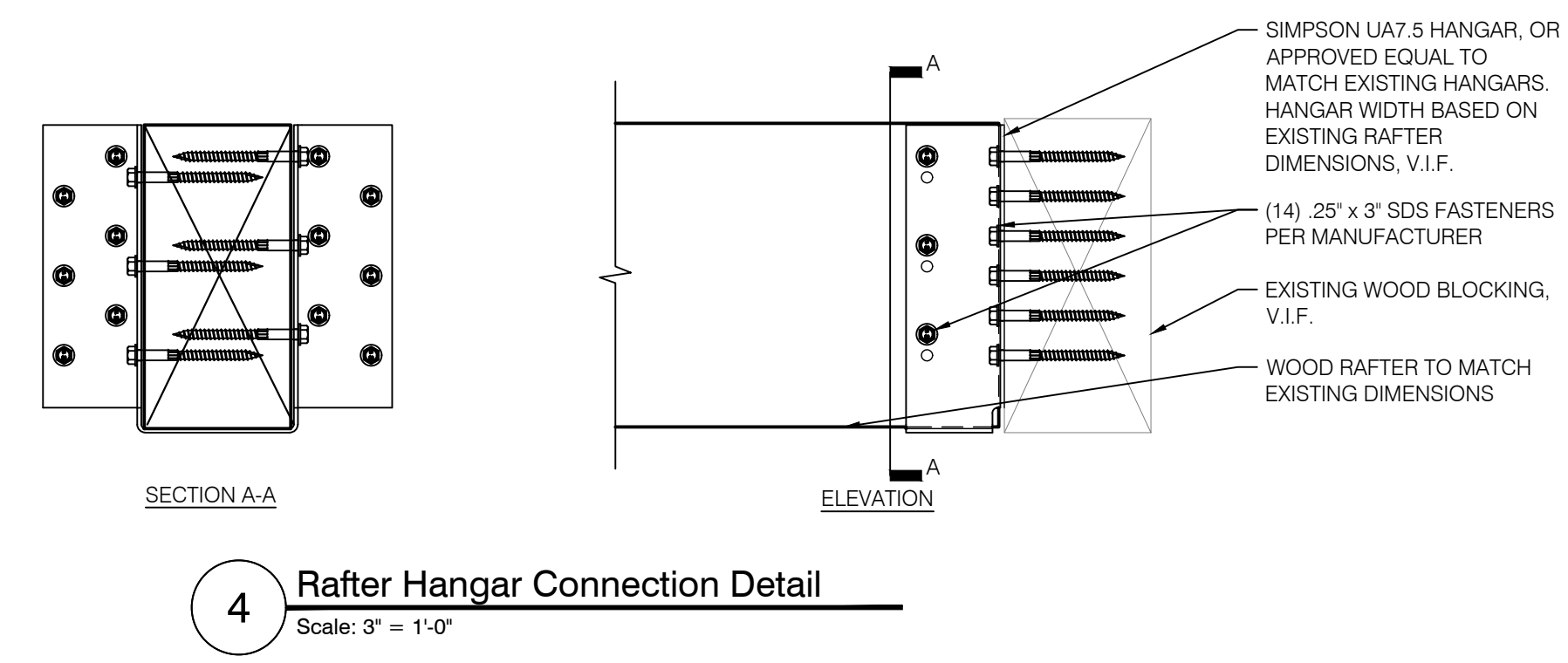
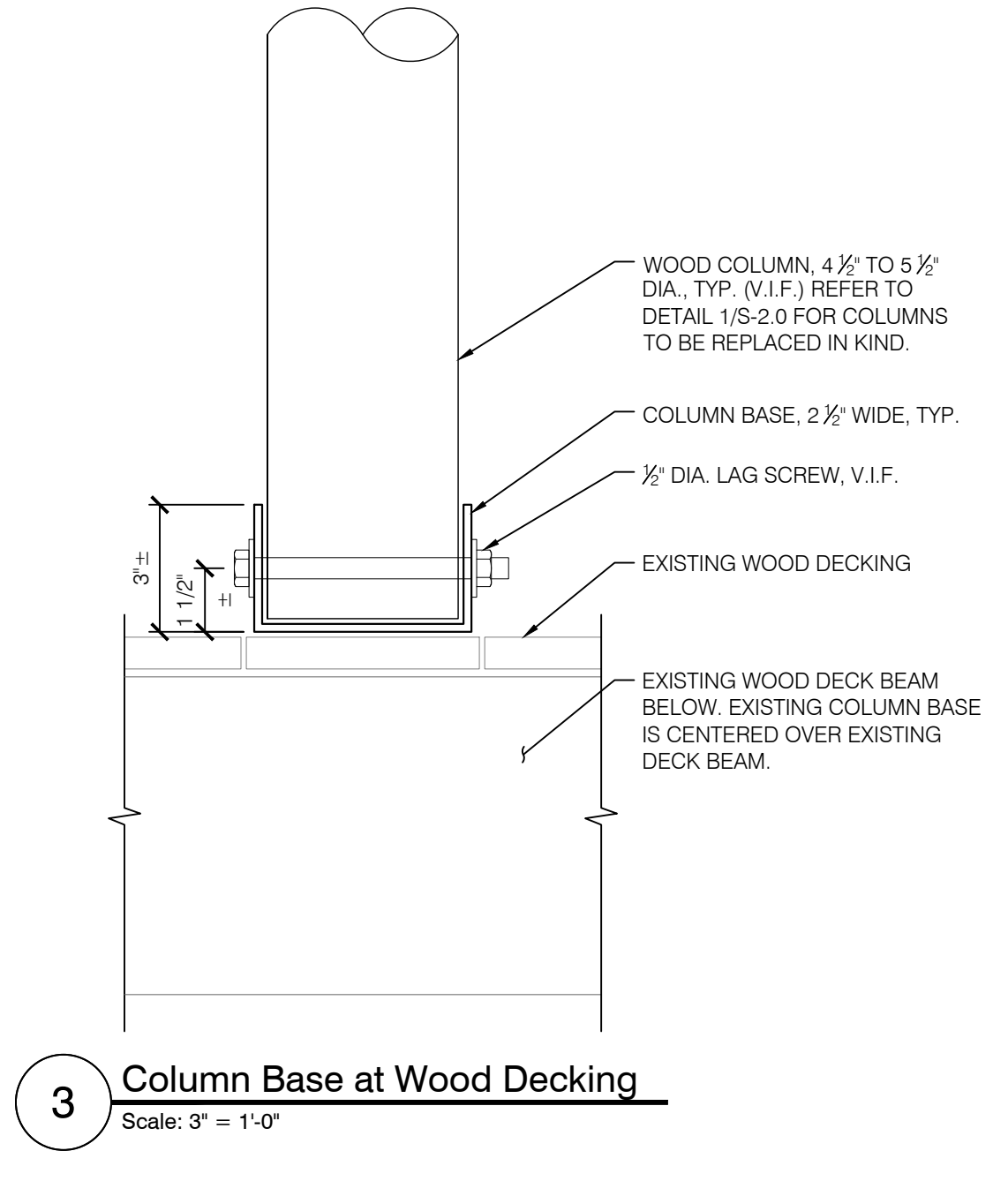
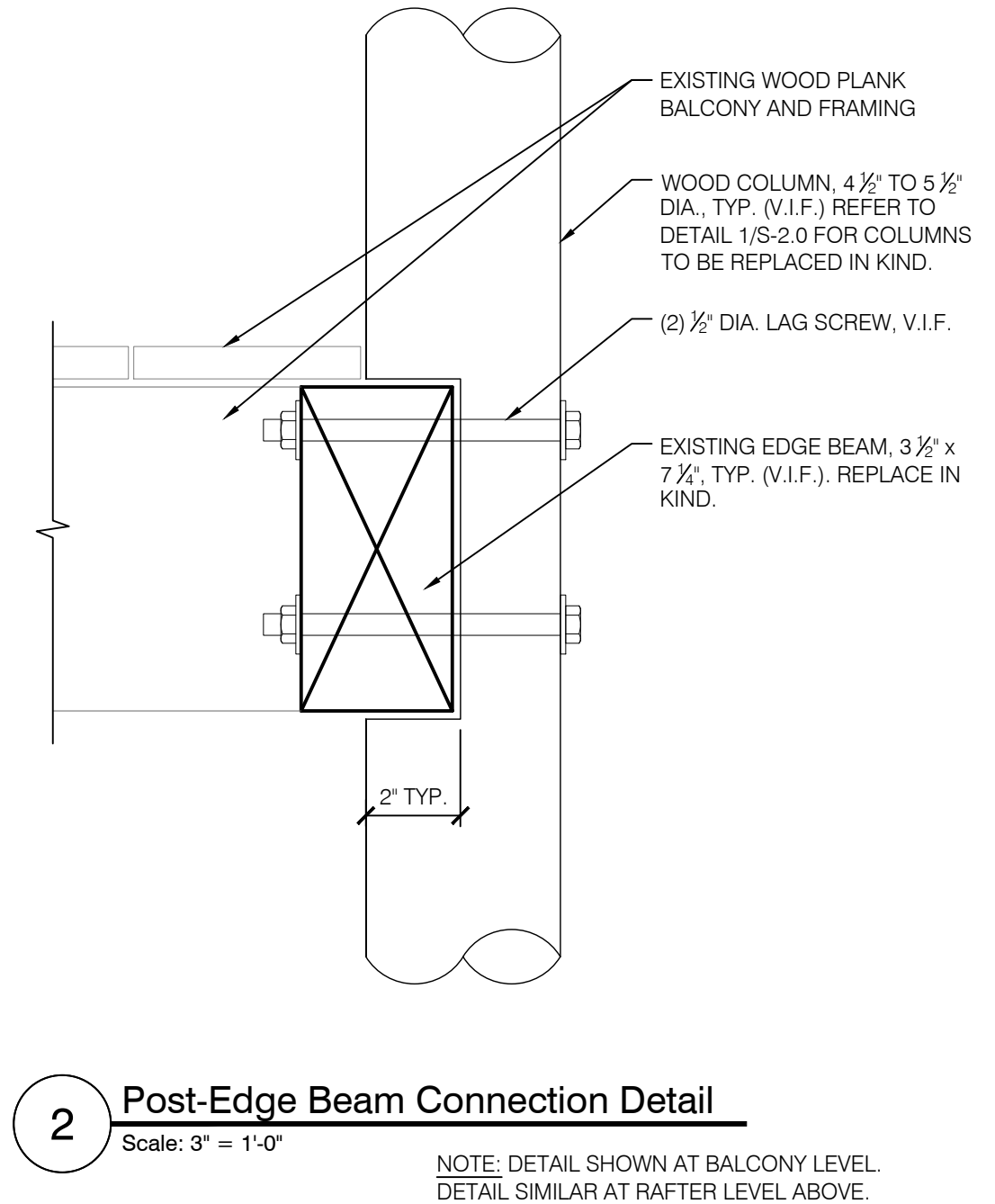
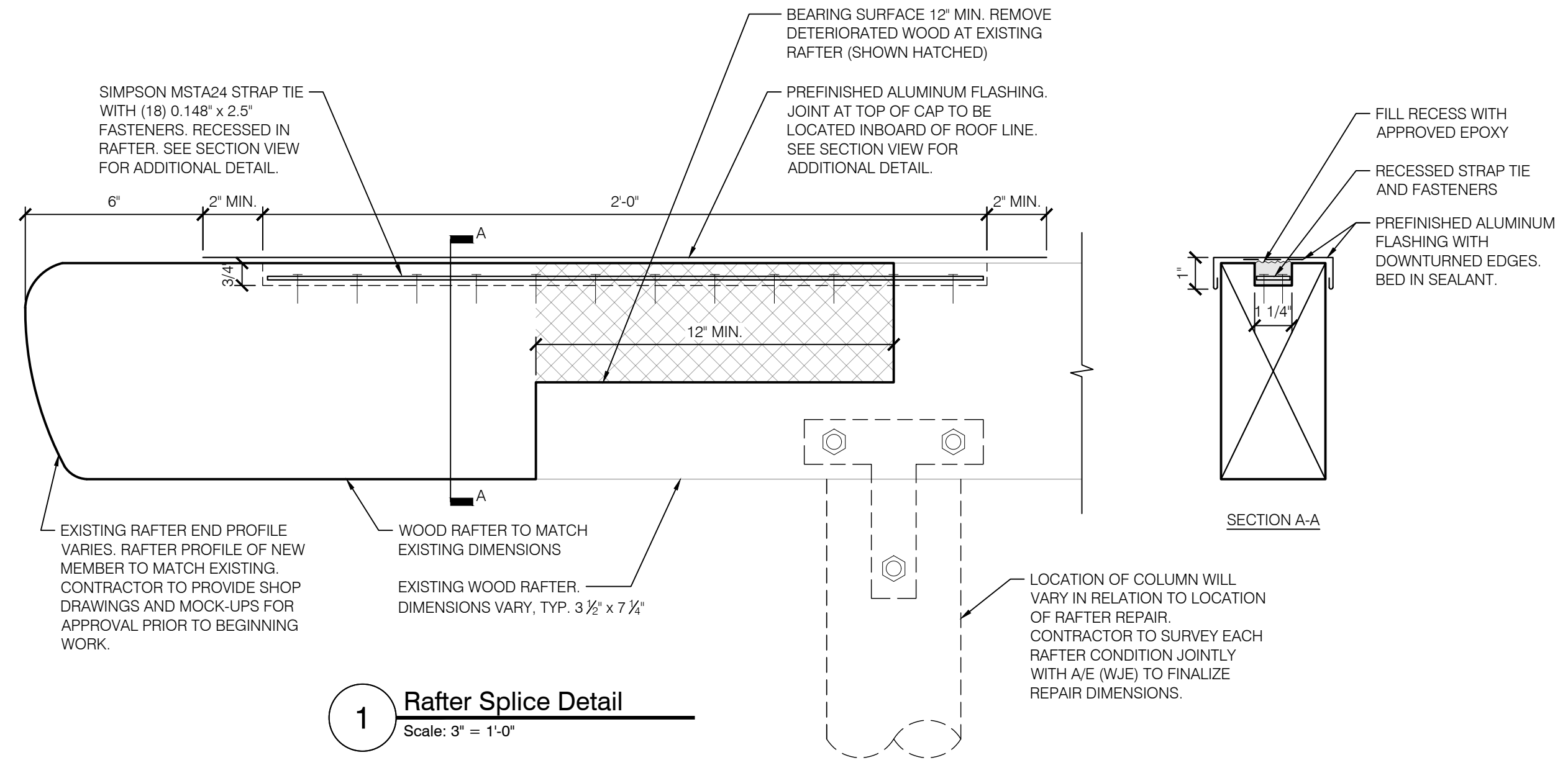
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South Balcony Elevation
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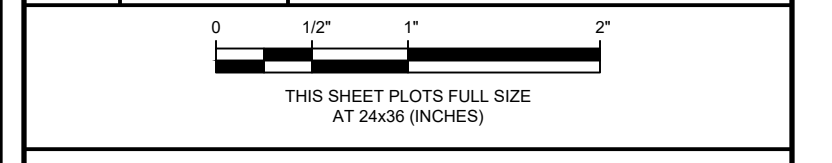
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Details

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