

Plotfile: 2/14/2024 5:44 PM by Chaijenkt, Tanya File Name: P:\2020\2023\300-0 - MALOOF RES & MUSEUM ROOF REPLACEMENT (MS)05 Construction Documents\01 Drawings\Addendum No. 1 - 02\_14\_24\Roof Replacement Maloof Foundation\_A Addendum No. 1.dwg

# SAM AND ALFREDA MALOOF FOUNDATION FOR ARTS AND CRAFTS ROOF REPLACEMENT

5131 Carnelian Street, Rancho Cucamonga, CA 91701  
Construction Documents, November 10, 2023

**WJE** ENGINEERS ARCHITECTS MATERIALS SCIENTISTS

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## GENERAL NOTES

- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS AND THE PROJECT MANUAL DATED DECEMBER 20, 2022 AND IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS AS PER THE CITY OF RANCHO CUCAMONGA.
- ALL EXISTING DIMENSIONS, LOCATIONS, AND CONDITIONS SHALL BE FIELD VERIFIED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY MEASUREMENTS AT THE JOB SITE AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND TO PERFORM THEIR WORK PROPERLY. SHOULD ANY DIMENSIONS BE AT VARIANCE WITH EXISTING CONDITIONS, OR SHOULD THERE BE A CONFLICT BETWEEN DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO STARTING THE WORK, AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS, OR OTHER CONDITIONS WHICH MAY AFFECT THE WORK IMMEDIATELY AND PRIOR TO BEGINNING REPAIRS IMPACTED BY THE NOTED CONDITIONS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL SECURE AND PAY ALL NECESSARY PERMITS, INCLUDING CITY OF RANCHO CUCAMONGA BUILDING AND SAFETY PERMITS, PRIOR TO STARTING THE WORK, INCLUDING ALL EXPEDITING COSTS.
- THE WORK OF THIS PROJECT INCLUDES REMOVAL OF EXISTING FIBROUS ROOF DECK PANELS WHICH ARE KNOWN ASBESTOS CONTAINING MATERIALS (ACMS). THE CONTRACTOR SHALL COMPLY WITH PROTOCOLS FOR SETTING UP OF CONTAINMENT, HANDLING, AIR PRESSURIZATION, CLEANING, AND TESTING DURING AND FOLLOWING COMPLETION OF THE WORK ESTABLISHED BY THE OWNERS CERTIFIED INDUSTRIAL HYGIENIST (C.I.H.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING FURNISHINGS, ETC. IN ALL ROOMS WHERE WORK WILL BE PERFORMED.
- THE CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE ADJACENT PROPERTIES AND OWNERS PROPERTY AS JOB CONDITIONS REQUIRE.
- CONSTRUCTION AND CONSTRUCTION RELATED ACTIVITIES SHALL BE THOROUGHLY COORDINATED WITH THE OWNER. UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE COURSE OF THE WORK, WHICH REQUIRE ADDITIONAL REPAIRS OR REQUIRE MODIFICATION OF CONTRACT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND THE OWNER. NO ADDITIONAL REPAIR WORK SHALL BE PERFORMED UNLESS BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND APPROVED IN ADVANCE BY THE ARCHITECT/ENGINEER AND THE OWNER.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE TAKEN IN THEIR ENTIRETY AND AS A WHOLE. IF A DISCREPANCY IS FOUND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE ARCHITECT/ENGINEER AND OWNER SHALL HAVE THE OPTION AS TO WHICH REQUIREMENT GOVERNS, CONSISTENT WITH THE INTENT OF THE DESIGN.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL METHODS AND MEANS OF CONSTRUCTION AND SITE SAFETY. THE CONTRACTOR SHALL MAKE ANY INSPECTIONS OR ANALYSIS NECESSARY TO VERIFY THAT EXISTING BUILDING ELEMENTS HAVE ADEQUATE LOAD CAPACITY TO SUPPORT ANY REQUIRED FORCES HE/SHE CHOOSES TO IMPOSE ON THEM. INSPECTION OPENINGS SHOULD NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY ENGINEER/ARCHITECT.
- THE CONTRACTOR SHALL MAKE ALL OPENINGS SEALED AND WATER TIGHT AT THE END OF EACH WORKDAY AND DURING INCLEMENT WEATHER.
- PROVIDE TWENTY (20) DAYS ADVANCED WRITTEN NOTICE TO THE OWNER ANY TIME THAT INTERIOR ACCESS IS REQUIRED.
- PROVIDE PEDESTRIAN PROTECTION AT ALL WORK AREAS AND COMPLY WITH ALL LOCAL LAWS, CODES, AND RULES.
- PROVIDE NOISE CONTROL AS SPECIFIED AND IN ACCORDANCE WITH CITY AND ALL OTHER APPLICABLE REGULATORY CODES.

## MALOOF USER SAFETY NOTES: INSTITUTIONAL RENOVATION

- GENERAL: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE LOCAL RANCHO CUCAMONGA BUILDING CODE, THE CALIFORNIA HISTORICAL BUILDING CODE, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR OCCUPANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY:
  - ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER, OR THE GENERAL CONTRACTOR.
  - ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
  - ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS' CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
  - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
  - ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
  - ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
  - CONTRACTOR, AT ALL TIMES, TO ENSURE THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDINGS, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
- DUST CONTROL:
  - DEBRIS, DIRT AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
  - CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
  - DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS:
  - CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8 AM TO 6 PM, MONDAY TO FRIDAY, EXCEPT LEGAL HOLIDAYS.
  - CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS.
- CONSTRUCTION OPERATIONS SHALL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO BUILDING OCCUPANTS.
- CONSTRUCTION WORK WILL BE CONFINED TO THE AREAS DESIGNATED ON THE DRAWINGS, AND WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER AREAS WITHIN THE COMPLEX NOT INDICATED FOR WORK.
- THE SCOPE OF WORK IS DEFINED BY THE DRAWINGS AND SPECIFICATIONS AND INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO ACCOMPLISH THE WORK.

## HISTORIC PRESERVATION

THE MALOOF COMPOUND IS AN ARCHITECTURALLY AND HISTORICALLY SIGNIFICANT STRUCTURE. IT IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES (NOVEMBER 9, 2010, REGISTER NUMBER ID: 03000471). ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR TREATMENT OF HISTORIC PROPERTIES. EXISTING MATERIALS SHOULD BE RETAINED WHENEVER POSSIBLE. ROOFING MATERIALS WILL BE REPLACED IN ACCORDANCE WITH SECRETARY OF INTERIORS STANDARDS. WOOD SIDING, ROOF DECK FRAMING AND OTHER ADJACENT MATERIALS SHOULD ONLY BE REPLACED WHEN THE EXISTING HISTORIC ELEMENTS ARE SO DETERIORATED AS TO PROHIBIT THEIR USEFUL FUNCTION, AND WITH PRIOR APPROVAL BY THE ARCHITECT/ENGINEER AND OWNER EXCEPT AS OTHERWISE INDICATED IN THESE DOCUMENTS.

## REPAIR AND RESTORATION APPROACHES

IN GENERAL, THE SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- BUILT-UP ROOF REPLACEMENT:** REMOVE THE EXISTING BUILT-UP ROOF SYSTEM DOWN TO THE EXISTING WOOD PLANK DECK OR STRUCTURAL ROOF PANEL DECK. INSTALL NEW ROOF ASSEMBLY CONSISTING OF: RED ROSIN PAPER, MECHANICALLY FASTENED BASE SHEET, HOT-APPLIED 4-PLY BUILT-UP ROOFING SYSTEM, AND FLOOD COAT OF ASPHALT WITH PEA GRAVEL SURFACING.
- METAL PANEL ROOF REPLACEMENT:** REMOVE THE EXISTING METAL PANEL ROOF SYSTEM DOWN TO THE EXISTING WOOD DECK. INSTALL NEW ROOF ASSEMBLY CONSISTING OF: VAPOR RETARDER/TEMPORARY ROOF MEMBRANE, POLYURETHANE INSULATION, POWER BOARD, AND ADHERED PVC ROOF MEMBRANE.
- STRUCTURAL ROOF PANEL DECK REPLACEMENT:** REPLACE THE EXISTING 2-INCH THICK STRUCTURAL ROOF DECK PANELS AT THE MAIN HOUSE (CONFERENCE ROOM) ROOF AREA.
- ISOLATED WOOD ROOF DECK REPLACEMENT:** REPLACE ISOLATED INDIVIDUAL DAMAGED WOOD PLANKS OR PLYWOOD/OSB IN KIND.
- ISOLATED FASCIA BOARD REPLACEMENT:** REPLACE FASCIA BOARDS IN KIND WHERE DESIGNATED IN THE DRAWINGS.
- RAFTER TAIL REPAIR:** REPAIR DAMAGED SECTION OF EXISTING RAFTER TAILS AS INDICATED IN THE DRAWINGS.
- MISCELLANEOUS CARPENTRY WORK:** MODIFY EXISTING WOOD TRIM/SIDING AS NECESSARY TO INSTALL NEW ROOF BASE FLASHINGS AND COUNTERFLASHINGS.
- METAL WORK:** INSTALL NEW COUNTERFLASHINGS, EDGE FLASHINGS, GUTTERS, DOWNSPOUTS, AND ANY OTHER MISCELLANEOUS SHEET METAL AND/OR FLASHING WORK AS INDICATED IN THE DRAWINGS.
- SKYLIGHT REPLACEMENT:** REPLACE THE EXISTING SKYLIGHTS IN KIND, ACRYLIC DOMED, (EIGHT TOTAL).
- CHIMNEY COATING:** AT THE CHIMNEY LOCATED AT THE MAIN HOUSE (WEST) ROOF, INSTALL ARCHITECTURAL GRADE COATING AT THE CHIMNEY FACES AND PEDESTRIAN GRADE TRAFFIC COATING AT THE TOP SURFACE OF THE CHIMNEY.
- SOUTH BALCONY FRAMING REPAIRS:** REPAIR OR PERFORM ISOLATED REPLACEMENT OF WOOD FRAMING MEMBERS AT THE SOUTH BALCONY. PERFORM STABILIZATION REPAIRS AND/OR TEMPORARILY SHORE BALCONY AS NEEDED DURING THE WORK. REPLACE PEDESTRIAN GRADE TRAFFIC MEMBRANE. REMOVE AND REINSTALL PERIMETER FLASHINGS AND COUNTERFLASHINGS AS NEEDED TO INSTALL NEW MEMBRANE.

**ALTERNATE NO. 1 - ADDITIONAL METAL ROOF REPLACEMENT:** PERFORM SAME SCOPE OF WORK AS BASE BID NO. 2 AT FIVE ADDITIONAL ROOF AREAS AT THE MAIN HOUSE WHERE DESIGNATED IN THE DRAWINGS.

**ALTERNATE NO. 2 - ALTERNATE FLAT ROOF REPLACEMENT MATERIAL:** PERFORM SAME SCOPE OF WORK AS BASE BID NO. 1, EXCEPT NEW ROOF ASSEMBLY IS TO CONSIST OF: TWO-PLY GRANULAR SURFACED MODIFIED BITUMEN ROOF MEMBRANE IN LIEU OF 4-PLY BUILT-UP ROOFING SYSTEM.

**ALTERNATE NO. 3 - EXPOSED FASTENER REPLACEMENT:** REPLACE SCREW FASTENERS AND NEOPRENE WASHERS AT METAL PANEL ROOFS TO REMAIN (LABELED AS N.I.C.) AT THE MAIN HOUSE AND VISITOR CENTER.

**ALTERNATE NO. 4 - SHEET METAL FLASHING ALTERNATE MATERIALS:** PRICING OPTION TO PROVIDE BONDERIZED SHEET METAL FLASHINGS IN LIEU OF ALUMINUM THROUGHOUT.

## BUILDING CODE

2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)

THE MALOOF COMPOUND, LOCATED AT 5131 CARNELIAN STREET IN RANCHO CUCAMONGA, CALIFORNIA, IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES (NOVEMBER 9, 2010, REGISTER NUMBER ID: 03000471).

THE MALOOF COMPOUND IS ALSO A CITY OF RANCHO CUCAMONGA DESIGNATED LOCAL LANDMARKS (DLLS), DESIGNATED MAY 15, 1996. DUE TO THE DLL DESIGNATION, THE COMPOUND IS SUBJECT TO ADMINISTRATIVE REVIEW FOR CERTIFICATE OF APPROPRIATENESS UNDER 17.18.040.

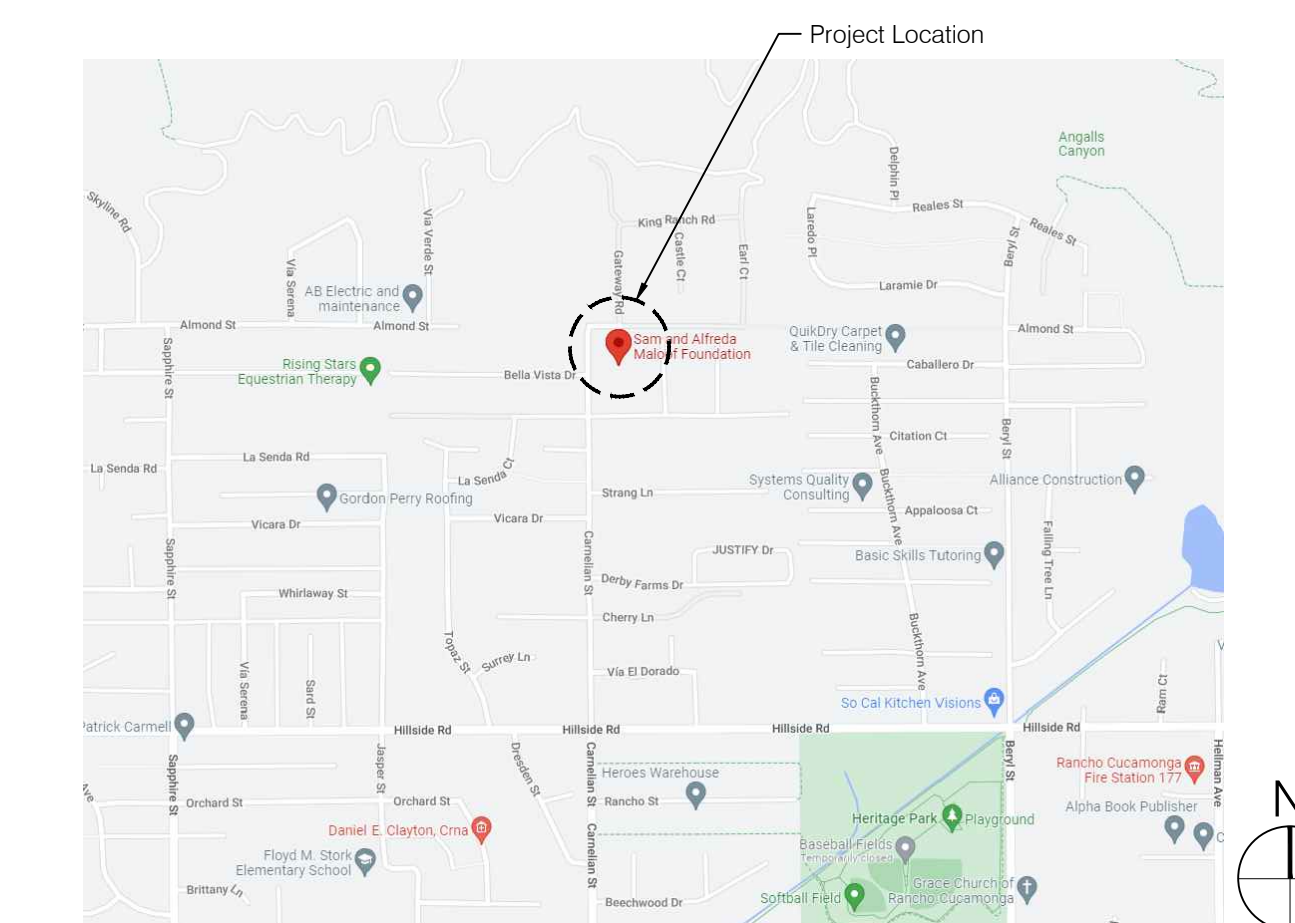
**\*3. PLANNING DIRECTOR REVIEW. NOTWITHSTANDING THE PREVIOUS PARAGRAPH, THE PLANNING DIRECTOR SHALL REVIEW, AND AFTER CONDUCTING A PUBLIC HEARING, SHALL DENY, APPROVE, OR CONDITIONALLY APPROVE ANY APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR ANY OF THE FOLLOWING TYPES OF ALTERATIONS:**  
a. REPAIR OR REPLACEMENT OF DETERIORATED MATERIALS WITH APPLICATIONS OR MATERIALS OF THE SAME KIND, TYPE, AND TEXTURE ALREADY IN USE FOR ROOFS, WINDOWS, SIDING MATERIAL, CHIMNEYS AND FIREPLACES, ACCESSORY STRUCTURES, OR FENCING.\*

THE MALOOF COMPOUND IS A QUALIFIED HISTORICAL BUILDING OR PROPERTY PER THE DEFINITION IN CHAPTER 8-2 OF THE CALIFORNIA HISTORICAL BUILDING CODE (CHBC), AND THEREFORE THE CHBC IS THE APPLICABLE CODE.

## DRAWING LIST

A-0.0	TITLE SHEET
A-1.0	SITE PLAN
A-1.1	MAIN HOUSE (EAST) ROOF PLAN
A-1.2	MAIN HOUSE (CONFERENCE ROOM) ROOF PLAN
A-1.3	WORKSHOP 1 ROOF PLAN
A-1.4	WORKSHOP 2 ROOF PLAN
A-1.5	GUEST HOUSE (VISITOR CENTER) ROOF PLAN
A-2.0	BUILT-UP ROOFING DETAILS
A-2.1	BUILT-UP ROOFING DETAILS
A-2.2	PVC ROOFING DETAILS
A-2.3	TRAFFIC COATING DETAILS
S-1.0	SOUTH BALCONY FRAMING PLANS
S-2.0	SOUTH BALCONY ELEVATION
S-3.0	STRUCTURAL DETAILS

## LOCATION MAP



Consultants

Project

## Roof Replacement

Sam and Alfreda Maloof  
Foundation for Arts and Crafts  
5131 Carnelian Street  
Rancho Cucamonga, CA 91701

Client

## Sam and Alfreda Maloof Foundation for Arts and Crafts

5131 Carnelian Street  
Rancho Cucamonga, CA 91701

1	02/14/24	Addendum No. 1
	11/10/23	Issued for Bid
	06/26/23	For NPS Review
	12/20/22	For Owner Review

Mark	Date	Description
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THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)

Project No.	2020.3805
Date	February 14, 2024
Drawn	TC
Checked	MSM / JZ / JAC
Scale	As Shown

## Title Sheet

Sheet Title

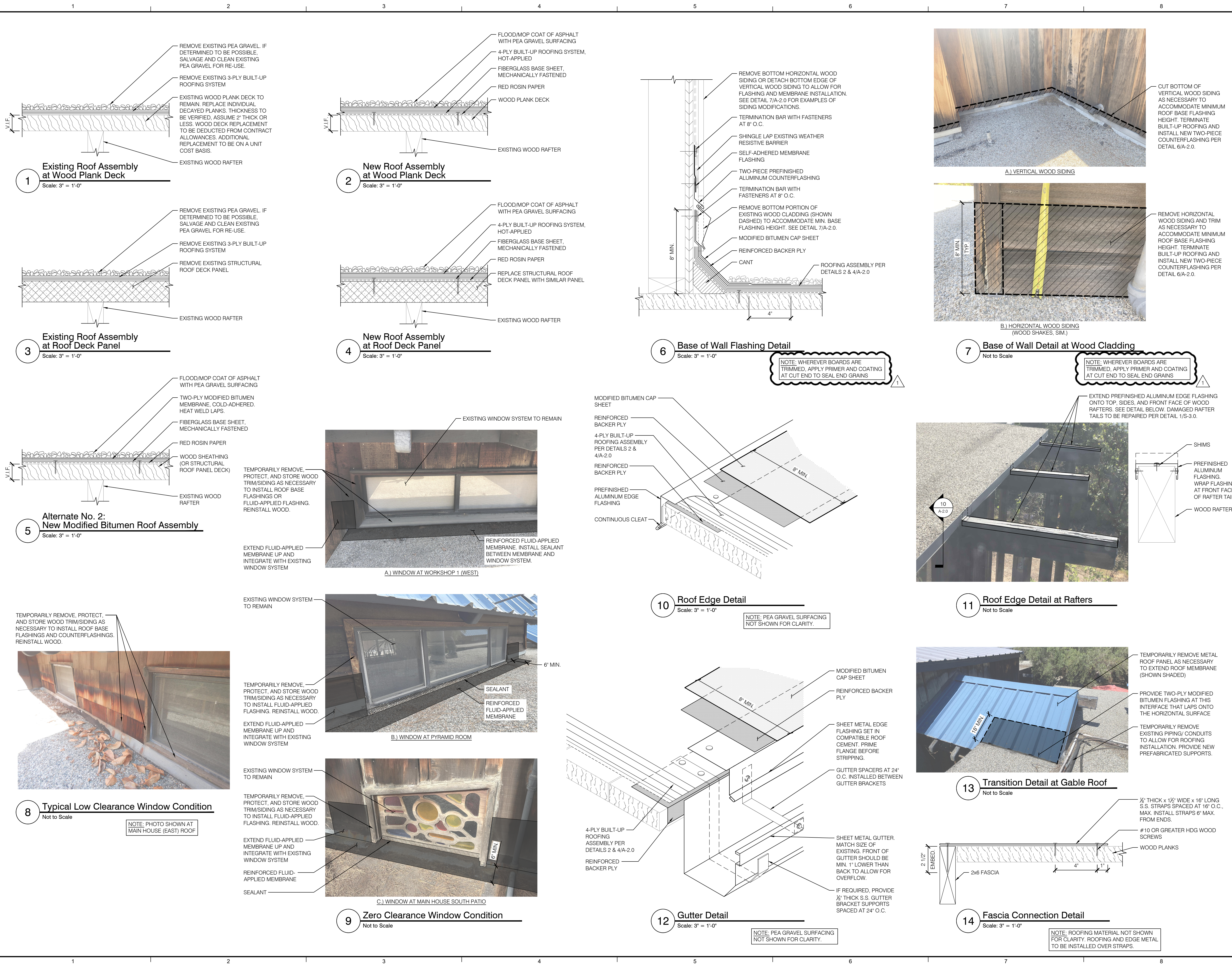
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Drawn TC

Checked MSM / JZ / JAC

Scale As Shown

**Built-Up Roofing Details**

Sheet Title

Sheet No. **A-2.0**